



***LONG LAKE RANCH
COMMUNITY DEVELOPMENT DISTRICT***

Advanced Meeting Package

Regular Meeting

***Thursday
April 6, 2023
6:00 p.m.***

***Location:
Long Lake Ranch Amenity Center
19037 Long Lake Ranch Blvd.
Lutz, FL 33558***

Note: The Advanced Meeting Package is a working document and thus all materials are considered DRAFTS prior to presentation and Board acceptance, approval or adoption.

Long Lake Ranch Community Development District

Development Planning and Financing Group

250 International Parkway, Suite 208
Lake Mary FL 32746
321-263-0132

Board of Supervisors
Long Lake Ranch Community Development District

Dear Board Members:

The Regular Meeting of the Board of Supervisors of the Long Lake Ranch Community Development District is scheduled for **Thursday, April 6, 2023 at 6:00 p.m.** at the **Long Lake Ranch Amenity Center, 19037 Long Lake Ranch Blvd., Lutz, FL 33558.**

The advanced copy of the agenda for the meeting is attached along with associated documentation for your review and consideration. Any additional support material will be distributed at the meeting.

Should you have any questions regarding the agenda, please contact me at (321) 263-0132 X-285 or tdobson@dpfgmc.com. We look forward to seeing you at the meeting.

Sincerely,

Tish Dobson

Tish Dobson
District Manager

Cc: Attorney
Engineer
District Records

District: **LONG LAKE RANCH COMMUNITY DEVELOPMENT DISTRICT**

Date of Meeting: Thursday, April 6, 2023
Time: 6:00 PM
Location: Long Lake Ranch Amenity
Center, 19037 Long Lake Ranch
Blvd., Lutz, FL 33558

Call-in Number: +1 (929) 205-6099

Meeting ID: 913 989 9080

Passcode: 842235

Zoom Link:

<https://vestapropertyservices.zoom.us/j/9139899080?pwd=aFdWVzFxb3Y0L2w4eG9VTnZRakl0UT09>

Revised Agenda

I. Call to Order/Roll Call

II. Pledge of Allegiance

III. Audience Comments – *(limited to 3 minutes per individual for agenda items)*

IV. Staff Reports

A. Landscaping & Irrigation

1. **RedTree Report**

Exhibit 1

B. Aquatic Services

1. Presentation of Aquatics Treatment Report

Exhibit 2

2. Consideration of GHS Environmental Big Lake – Grass Carp
Stocking Proposal

Exhibit 3

C. District Engineer

D. District Counsel

E. Clubhouse Manager

1. Presentation of Clubhouse Manager Report – *To Be
Distributed*

Exhibit 4

F. District Manager

1. **Presentation of District Manager & Field Operations Report**

Exhibit 5

2. Supervisor Presentation

V. Consent Agenda

A. Consideration of Minutes of the Board of Supervisors' Meetings
Held on March 2, 2023

Exhibit 6

B. Consideration of Unaudited February 2023 Financial Statements

Exhibit 7

C. Consideration of Operation and Maintenance Expenditures for
February 2023

Exhibit 8

VI. Business Items

- A. Consideration of EGIS Volunteer Insurance [Exhibit 9](#)
- B. Consideration of 813 Towing Agreement [Exhibit 10](#)
- C. Consideration of Parking Policy & Enforcement [Exhibit 11](#)
- D. **Consideration of Pressure Washing Proposal Options** [Exhibit 12](#)
 - 1. **American Power Washing**
 - 2. **Riptide**
 - 3. **Romaner Graphics**
- E. **Consideration of Romaner Graphics Signage Replacement Proposal** [Exhibit 13](#)
- F. Discussion & Consideration of Pool Construction Damage Proposal & Request [Exhibit 14](#)
- G. Discussion of Approved Frontier Project ROW Permit [Exhibit 15](#)
- H. Discussion of FY 2023-2024 Budget [Exhibit 16](#)
- I. **Presentation & Review of EGIS Site Review** [Exhibit 17](#)
- J. **Presentation of Approved Building Permit** [Exhibit 18](#)

VII. Supervisors Requests

VIII. Audience Comments – New Business

IX. Next Meeting Quorum Check: May 5th, 6:00 PM

William Pellan	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> REMOTE	<input type="checkbox"/> NO
Heidi Clawson	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> REMOTE	<input type="checkbox"/> NO
James Koford	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> REMOTE	<input type="checkbox"/> NO
George Smith Jr.	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> REMOTE	<input type="checkbox"/> NO
John Twomey	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> REMOTE	<input type="checkbox"/> NO

X. Adjournment

EXHIBIT 1



**LONG LAKE RANCH
COMMUNITY DEVELOPMENT DISTRICT
MARCH 2023
PHOTOS OF REDTREE SERVICE**

SERVICE DATES: MARCH 13TH & MARCH 27TH

Mowed, edged, whipped, and blew all areas that were not brown from drought, as well as the ponds. The annuals are flushing out nicely as well as the Muhly grass that has been cut back. Additional plant material has been neatly trimmed. The woodline was cut back at rear of houses.









EXHIBIT 2

Actions Required At Time of Inspection

G = Treated Grasses/Herbaceous Species (ie. torpedo grass, cattails, alligatorweed, primrose, pennywort, etc.)

A = Treated Algae (ie. filamentous, planktonic, blue-green, etc.)

F = Treated Floating Species (ie. Hyacinth, water lettuce, Cuban marsh grass, duckweed, water fern, water spangles, etc.)

S = Treated Submerged Vegetation (ie hydrilla, spikerush, chara, coontail, bladderwort)

L = Treated Lilies (ie fragrant waterlily, spatterdock)

T = Trash/debris removed

* = See Note

Service Date	Big Lake	Borrow Expansion	Borrow Lake	FPM 4	FPM 5	FPM 6	FPM 7	FPM 7A	FPM 9	FPM 10	FPM 11 North	FPM 11 South	FPM 12	Pond 10	Pond 100	Pond 10A	Pond 110	Pond 20	Pond 30	Pond 40	Pond 50A	Pond 50B	Pond 60	Pond 70	Pond 80	Pond 90	Field Notes
1/5/2023	T	T	T			T	T	T		T	T	T		T		T			T	T	T	T			T		
1/10/2023								T	T				T		T									T			
1/17/2023			T	T													T	T					T	T			Check in with D. Ruhlig.
1/26/2023												T													T		
2/3/2023		T	T								T	T		T		T											
2/15/2023	T			T	T			T	T				T		T		T	T		T	T		T	T			Check in with D. Ruhlig.
2/17/2023						T	T	T		T									T			T			T		Check in with T. Dobson.
2/20/2023																											Field review of ponds. Check in with T. Dobson.
3/2/2023		T	T							G, T	T	T		T		T			A, T			T					Check in with D. Ruhlig.
3/8/2023			G							G	G																
3/16/2023	T			T	T			T	T				G, T	G	T		T	T		T	T	T	T	T	T		
3/24/2023																			G								
3/29/2023																											Prepared and submitted GHS Proposal No. 23-207 to stock grass carp into Big Lake.

EXHIBIT 3



GHS Environmental
PO Box 55802
St. Petersburg, FL 33732-5802
727-667-6786

March 29, 2023

Mrs. Tish Dobson
DPFG Management & Consulting LLC
250 International Parkway, Suite 208
Lake Mary, FL 32746

Re: Long Lake Ranch Community Development District
Big Lake - Grass Carp Stocking
GHS Proposal No: 23-207

Dear Mrs. Dobson,

GHS Environmental (GHS) is pleased to provide our services for grass carp stocking to provide biological control and assist in the reduction of hydrilla in the Big Lake located in the Long Lake Ranch Community Development District (CDD).

Please note the CDD approved ½ stocking rate during the October 1, 2020 board meeting for the Big Lake. This proposal is to provide the remaining grass carp to maximize the permitted number allotted for the Big Lake. Please note, the cost of the carp is being passed directly to the CDD with no GHS markup.

This proposal has been prepared based on the information that has been provided by the Client at this time. The tasks, services and associated costs as described below are subject to change with direct requests by Client. This proposal is to be considered a draft with the purpose of review by Client. If the tasks are acceptable, this proposal may be considered final and signed to initiate services.

Proposed Scope of Services

Task 1: Big Lake – Grass Carp Delivery and Installation

GHS will provide, deliver and install 192 12"-14" Triploid Grass Carp into the Big Lake. Please note, at the request of the CDD in the previous stocking events, this cost estimate was generated using the larger grass carp to increase survivorship against predators.

Proposed Budget

Table 1 summarizes the proposed budget for the tasks outlined above. Our proposed budget for the work described above is **\$3,656.00** for Task 1. The budget provided above is our best estimate of the final cost; our invoices, however, will be on a time and materials basis, and will reflect the actual costs required to complete the assigned tasks. The proposed budget is to be considered a "not-to-exceed" figure; unexpected costs over and above this estimate will not be incurred prior to obtaining your authorization.



Table 1 – Proposed Budget

Task Description		Subtotal
TASK 1	Grass Carp Delivery and Stocking (192 Fish)	\$3,456
Delivery	Estimated Delivery	\$200
GRAND TOTAL		\$3,656

Closing Comments

Thank you for contacting GHS Environmental. We greatly appreciate the opportunity to submit this proposal for your consideration. Please do not hesitate to call us at (727) 432-2820 with any questions you might have concerning this proposal. If you wish to modify this proposal, GHS will readily tailor it to address your unique needs. If this proposal meets with your approval, GHS would appreciate your acceptance by signing this page below and returning it via email at chuck@ghsenvironmental.com. In closing, we appreciate being asked to provide assistance and look forward to working with you.

Sincerely yours,

GHS Environmental

A handwritten signature in black ink, appearing to read 'Dana J. Gaydos'.

Dana J. Gaydos
Principal

A handwritten signature in black ink, appearing to read 'Chuck Burnite'.

Chuck Burnite
Sr. Environmental Scientist

Accepted by:

Signature

Title

Date

EXHIBIT 4

To Be Distributed

EXHIBIT 5



LONG LAKE RANCH FIELD OPERATIONS & DISTRICT MANAGER REPORT

Aquatics

April 2023



Pond and Lake Management: Subsurface and surface algae are present in moderate amounts throughout the community due to unseasonable warm temperatures and lack of rainfall. Frequent rains will assist in clearing up these blooms. Overall, the ponds are in excellent condition compared to ponds in neighboring communities.





LONG LAKE RANCH FIELD OPERATIONS & DISTRICT MANAGER REPORT

Landscape Maintenance



Enhancement Project/Grasses: The new vegetation is still trying to establish deep roots, due to the lack of rainfall; however, there are signs of new growth on many of the plants, which is encouraging. Minimal signs of weeds in the beds and / or crack weeds throughout the community. The ornamental grasses are beginning to flush out and should be in full bloom over the next four weeks. Recommend regular assessments of the irrigation to ensure the new plants are healthy for the long hot summer.





LONG LAKE RANCH FIELD OPERATIONS & DISTRICT MANAGER REPORT

Hedges / Shrubs: The hedges and shrubs are healthy and shaped in accordance with the contractual agreement. Minimal cosmetic pruning (dead wooding) will be required over the next couple of months to encourage additional growth.





LONG LAKE RANCH FIELD OPERATIONS & DISTRICT MANAGER REPORT

Mowing: The Bahia is still struggling due to the current drought conditions. The color will improve with frequent rains. Minimal turf weeds. The recent cut was clean, and the blades appear to be sharp.



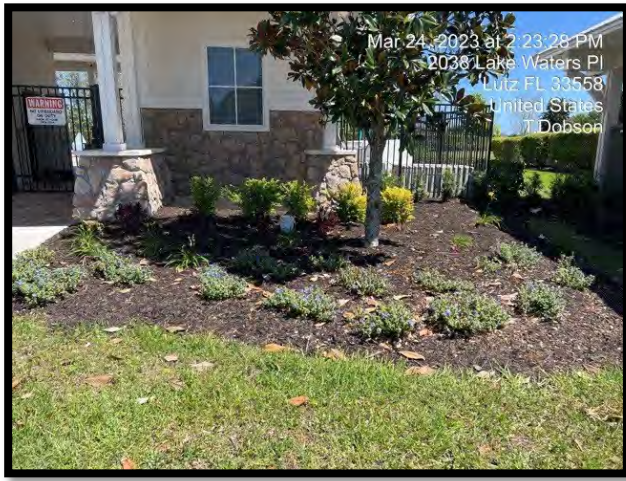
Bed Maintenance: The seasonal rotation is popping with color and offering great curb appeal. Minimal signs of weeds. The irrigation should be adjusted in a few beds to overcome the drier conditions.





LONG LAKE RANCH FIELD OPERATIONS & DISTRICT MANAGER REPORT

Bed Maintenance. Continued.



Observations & Recommendations



Struggling Vegetation: The newly planted shrubs in the Wathervane islands are stressed and need additional irrigation to establish the roots. Recommend replacing a few of the shrubs. The Ligustrums in the center island facing the Foxtail entrance are rebounding slowly. Continual monitoring is necessary and removal of the dead foliage will encourage new growth.





LONG LAKE RANCH FIELD OPERATIONS & DISTRICT MANAGER REPORT



Footpath Entrance Ways: Recommend adding a layer of concrete to fill in the hole to alleviate a tripping hazard.

Monuments: Most of the monuments are due to be pressure washed as part of the spring cleaning schedule.

Frontier Project: Frontier has left a larger than expected footprint in Long Lake Ranch. The team was reminded on several occasions to pick up their debris.

Tennis Court Hedge Line: The newly planted hedge line is struggling to get established. Recommend replacing the declining plants and adjust the irrigation.





LONG LAKE RANCH FIELD OPERATIONS & DISTRICT MANAGER REPORT

District Manager Report

March Highlights

ADA Mulch Installation: Date of commencement – 4/12/2023

Floor Installation: Date of commencement – 4/11/2023

Group Fitness Classes: A couple of residents are forming a group fitness class to potentially be held in the fenced in area at the main clubhouse. The organization is in progress.

Painting of the Foxtail Amenity Center: To date, contacted Romaner Graphics for a proposal. Additional proposals will be requested and submitted.

Pasco County Permitting: Contacted the following County Commissioners for assistance with the utility shed permit. – Construction permit issued on 4/3/2023

- Gary Bradford – District 4: gbradford@mypasco.net
- Kathryn Starkey – District 3: kstarkey@mypasco.net

Paver Repair/Drain Repair: Contacted Romaner Graphics for paver & drain repair at the Foxtail Amenity Center.

Pool Staffing: Hiring is in progress.

Pressure Washing: Contacted the following contractors:

- American Power Washing
- Rip Tide Pressure Washing
- Romaner Graphics

Sidewalk Repairs: Contacted the following contractors to remediate raised sidewalks near the mailbox kiosk:

- Romaner Graphics
- Site Masters

Signage: Contacted the following contractors:

- Accurate Signs on Time
- Romaner Graphics

Stormwater Assessment: Researching why the District was invoiced an assessment.

Water Meter Monitoring: Contacted Pasco County Utilities with the request. Called & emailed. seanderson@mypasco.net



EXHIBIT 6

1 **MINUTES OF MEETING**

2 **LONG LAKE RANCH**

3 **COMMUNITY DEVELOPMENT DISTRICT**

4 The Regular Meeting of the Board of Supervisors of the Long Lake Ranch Community
5 Development District was held on Thursday, March 2, 2023 at 6:05 p.m. at the Long Lake Amenity Center,
6 19037 Long Lake Ranch Blvd., Lutz, Florida 33558.

7 **FIRST ORDER OF BUSINESS – Call to Order/Roll Call**

8 Ms. Dobson called the meeting to order and conducted roll call.

9 Present and constituting a quorum were:

10 Bill Pellan	Board Supervisor, Chairman
11 George Smith	Board Supervisor, Assistant Secretary
12 John Twomey (<i>via phone</i>)	Board Supervisor, Assistant Secretary
13 Darrell Thompson	Board Supervisor, Assistant Secretary

14 Also present were:

15 Tish Dobson	District Manager, DPFG Management & Consulting
16 Sarah Sandy (<i>via phone</i>)	District Counsel, Kutak Rock LLP
17 Doug Ruhlig	Clubhouse Manager
18 Pete Lucadano	RedTree Landscaping
19 John Burkett	RedTree Landscaping
20 Raoul Mahadeen	Resident
21 Barbara Twomey	Resident

22 *The following is a summary of the discussions and actions taken at the March 2, 2023 Long Lake Ranch*
23 *CDD Board of Supervisors Regular Meeting.*

24 **SECOND ORDER OF BUSINESS – Pledge of Allegiance**

25 Mr. Pellan led all present in reciting the Pledge of Allegiance.

26 **THIRD ORDER OF BUSINESS – Audience Comments –** (*limited to 3 minutes per individual for agenda*
27 *items*)

28 Ms. Twomey noted a landscape concern she had regarding the installation of trees in the median
29 on Long Lake Ranch Blvd.

30 Mr. Mahadeen commented on his dispute against the legal services fee he received associated with
31 replacing the property pin. Discussion ensued.

32 **FOURTH ORDER OF BUSINESS – Staff Reports**

33 A. Landscaping & Irrigation

34 1. Red Tree Report – Verbal

35 Mr. Lucadano introduced John Burkett to the Board as their new landscape account
36 manager. He apologized for the misunderstandings and gave an update on the landscaping
37 for the community to the Board.

38 Discussion ensued regarding the pricing for annuals.

39 **This item was not on the agenda.**

On a MOTION by Mr. Pellan, SECONDED by Mr. Smith, WITH ALL IN FAVOR, the Board approved the spring rotation of annuals installation proposal, in the amount of \$7,272.00, for the Long Lake Ranch Community Development District.

2. Exhibit 1: Review Landscape Unit Pricing

On a MOTION by Mr. Pellan, SECONDED by Mr. Thompson, WITH ALL IN FAVOR, the Board approved the Landscape Unit Pricing as presented, for the Long Lake Ranch Community Development District.

3. Landscape Proposals

a. Exhibit 2: ADA Mulch Installation Options

Discussion ensued regarding the mulch proposals presented and the need for ADA certification before moving forward with installation.

On a MOTION by Mr. Smith, SECONDED by Mr. Pellan, WITH ALL IN FAVOR, the Board approved the ADA Mulch Installation from Greenview contingent upon receiving the ADA certification, in the amount of \$1,250.00, for the Long Lake Ranch Community Development District.

b. Exhibit 3: Bald Cypress Installation Options

This item was tabled.

c. Exhibit 4: Cordgrass Endcaps Enhancement Options

Discussion ensued regarding the selection of the plant material for the enhancement of the Cordgrass endcaps.

On a MOTION by Mr. Pellan, SECONDED by Mr. Smith, WITH ALL IN FAVOR, the Board approved the Red Tree Cordgrass Endcaps Enhancement proposal with Blue Blaze as an alternative to Firebush, in the amount of \$3,000.00, for the Long Lake Ranch Community Development District.

d. Exhibit 5: Podocarpus Infill Gap Options

Discussion ensued regarding the need for this item.

On a MOTION by Mr. Pellan, SECONDED by Mr. Smith, WITH ALL IN FAVOR, the Board approved the Red Tree Podocarpus Infill Gap proposal, in the amount of \$720.00, for the Long Lake Ranch Community Development District.

e. Exhibit 6: Sod Replacement Options

Discussion ensued.

On a MOTION by Mr. Pellan, SECONDED by Mr. Thompson, WITH ALL IN FAVOR, the Board approved the Red Tree Sod Replacement proposal, in the amount of \$1,224.00, for the Long Lake Ranch Community Development District.

f. Exhibit 7: Weathervane Island Enhancement Options

Discussion ensued.

On a MOTION by Mr. Pellan, SECONDED by Mr. Smith, WITH ALL IN FAVOR, the Board approved the Red Tree Weathervane Island Enhancement proposal, at a reduced price of \$2,400.00, for the Long Lake Ranch Community Development District.

4. Exhibit 8: Consideration of Greenview Landscape Enhancement Proposal

This item was tabled.

B. Aquatic Services

1. Exhibit 9: Presentation of Aquatics Treatment Report

Discussion ensued regarding fish stocking in the large lake.

C. District Engineer

Ms. Dobson noted that the District Engineer was working through the roadway turnover with Pasco County, but that the county may not accept the roadways in Foxtail.

D. District Counsel

Ms. Sandy did not have anything to report to the Board. Discussion was opened to any questions that the Board had for her.

E. Clubhouse Manager

1. Exhibit 10: Presentation of Clubhouse Manager Report

Discussion ensued regarding the dog waste bins as well as the regular trash cans around the neighborhood.

Discussion ensued regarding people jumping the fence and the rules in place for suspension purposes.

Mr. Ruhlig gave a brief overview of his report.

F. District Manager

1. Exhibit 11: Presentation of Field Inspection & District Manager Report

Ms. Dobson gave a brief overview of her district manager's report and field inspection report. Discussion ensued.

FIFTH ORDER OF BUSINESS – Consent Agenda

A. Exhibit 12: Consideration of Minutes of the Board of Supervisors' Meeting Held on February 2, 2023

B. Exhibit 13: Consideration of Unaudited January 2023 Financial Statements

C. Exhibit 14: Consideration of Operation and Maintenance Expenditures for January 2023

On a MOTION by Mr. Smith, SECONDED by Mr. Pellan, WITH ALL IN FAVOR, the Board approved the Consent Agenda as presented, for the Long Lake Ranch Community Development District.

Discussion ensued regarding the water bills.

SIXTH ORDER OF BUSINESS – Business Items

A. Exhibit 15: Consideration of Tile Flooring Installation Proposal Options – *previously presented*

1. Bob's Carpet & Flooring
2. Great Britain Tile
3. Flooring Masters

Discussion ensued regarding the differences between the proposals, including the cost.

On a MOTION by Mr. Pellan, SECONDED by Mr. Smith, WITH ALL IN FAVOR, the Board approved the Flooring Master's proposal, in the amount of \$6,552.00, for the Long Lake Ranch Community Development District.

B. Exhibit 16: Consideration of Frontier/Long Lake Reserve's Fiber Optic Access Request

Discussion ensued regarding the Frontier/ Long Lake Reserve's fiber optic access request.

SEVENTH ORDER OF BUSINESS – Supervisors Requests

Mr. Thompson requested volunteer opportunities for the community to be headed up by Andrew Kimpland with Mr. Thompson's assistance.

Discussion ensued regarding budgeting for volunteer supplies.

EIGHTH ORDER OF BUSINESS – Audience Comments – New Business

There being none, the next item followed.

NINTH ORDER OF BUSINESS – Next Meeting Quorum Check: April 6th, 6:00 PM

Four out of five Supervisors – Supervisor Pellan, Supervisor Smith, Supervisor Thompson, and Supervisor Twomey – in attendance indicated that they would be able to attend the next meeting, scheduled for April 6, 2023, in person, constituting a quorum. Supervisor Clawson indicated that she was unsure if she'd be in attendance.

TENTH ORDER OF BUSINESS – Adjournment

Ms. Dobson asked for final questions, comments, or corrections before requesting a motion to adjourn the meeting. There being none, Mr. Pellan made a motion to adjourn the meeting.

On a MOTION by Mr. Pellan, SECONDED by Mr. Thompson, WITH ALL IN FAVOR, the Board adjourned the meeting at 9:21 p.m. for the Long Lake Ranch Community Development District.

**Each person who decides to appeal any decision made by the Board with respect to any matter considered at the meeting is advised that person may need to ensure that a verbatim record of the proceedings is made, including the testimony and evidence upon which such appeal is to be based.*

Meeting minutes were approved at a meeting by vote of the Board of Supervisors at a publicly noticed meeting held on April 6, 2023.

149

Signature

Signature

150

Printed Name

Printed Name

151 **Title:** ☐ **Secretary** ☐ **Assistant Secretary**

Title: ☐ **Chairman** ☐ **Vice Chairman**

EXHIBIT 7

Long Lake Ranch Community Development District

Financial Statements
(Unaudited)

Preliminary

February 28, 2023

Long Lake Ranch CDD
General Fund
Statement of Revenue, Expenditures, and Changes in Fund Balance
For the period from October 1, 2022 to February 28, 2023

	FY 2023 Month of October	FY 2023 Month of November	FY 2023 Month of December	FY 2023 Month of January	FY 2023 Month of February	FY 2023 Total Actual Year-to-Date	FY 2023 Amended Budget	VARIANCE Over (Under) to Budget	% Actual YTD / FY Budget
1 REVENUE									
2 ASSESSMENTS LEVIED									
3 ASSESSMENTS LEVIED (NET ON-ROLL)	\$ -	\$ 229,807	\$ 889,661	\$ 8,664	\$ 16,938	\$ 1,145,070	\$ 1,165,951	\$ (20,882)	98%
4 ADDITIONAL REVENUE									
5 TENNIS	-	120	240	-	120	480	1,440	(960)	33%
6 ROOM RENTALS	-	125	180	-	-	305	150	155	203%
7 INTEREST	334	-	-	-	-	334	125	209	267%
8 ADVERTISEMENT RENTAL	800	1,600	800	800	-	4,000	-	4,000	
9 MISC. REVENUE	-	125	-	-	75	200	-	200	
10 FUND BALANCE FORWARD (removed)	-	-	-	-	-	-	-	-	
11 TOTAL REVENUE	\$ 1,134	\$ 231,777	\$ 890,881	\$ 9,464	\$ 17,133	\$ 1,150,388	\$ 1,167,666	\$ (17,278)	99%
12 EXPENDITURES									
13 ADMINISTRATIVE									
14 SUPERVISORS - REGULAR MEETINGS	\$ 600	\$ 800	\$ 600	\$ 600	\$ 600	\$ 3,200	\$ 10,000	\$ (6,800)	32%
15 SUPERVISORS - WORKSHOPS	-	-	-	-	-	-	2,000	(2,000)	0%
16 PAYROLL TAXES (BOS)	46	61	46	46	46	245	734	(490)	33%
17 PAYROLL SERVICES FEES	50	50	51	51	51	252	600	(348)	42%
18 DISTRICT MANAGEMENT	1,667	1,638	1,694	1,622	1,667	8,287	20,000	(11,713)	41%
19 ADMINISTRATIVE	917	917	917	917	917	4,583	11,000	(6,417)	42%
20 ACCOUNTING	917	917	917	917	917	4,583	11,000	(6,417)	42%
21 ASSESSMENT ROLL PREPERATION	417	417	417	417	417	2,083	5,000	(2,917)	42%
22 DISSEMINATION AGENT	3,000	-	-	-	-	3,000	3,000	-	100%
23 DISTRICT COUNSEL	3,092	2,892	2,243	2,825	3,116	14,167	32,000	(17,833)	44%
24 DISTRICT ENGINEER	298	968	-	425	553	2,243	13,500	(11,258)	17%
25 ARBITRAGE REBATE CALCULATION	-	-	500	-	-	500	650	(150)	77%
26 TRUSTEE FEES	4,041	-	4,041	-	-	8,081	15,701	(7,620)	51%
27 BANK FEES	-	-	-	-	-	-	150	(150)	0%
28 AUDITING	-	-	-	-	-	-	6,000	(6,000)	0%
29 REGULATORY PERMITS AND FEES	175	-	-	-	-	175	175	-	100%
30 TAX COLLECTOR/PROPERTY TAXES	-	-	225	-	-	225	250	(25)	90%
31 SALES TAX	189	-	-	272	-	461	-	461	
32 LEGAL ADVERTISING	-	-	66	66	68	199	1,500	(1,301)	13%
33 WEBSITE HOSTING	1,538	-	-	-	-	1,538	1,600	(63)	96%
34 TOTAL ADMINISTRATIVE	16,944	8,659	11,715	8,156	8,350	53,823	134,860	(81,037)	40%
35 INSURANCE									
36 GENERAL LIABILITY/PROPERTY INSURANCE	20,564	-	-	-	-	20,564	22,628	(2,064)	91%
37 TOTAL INSURANCE	20,564	-	-	-	-	20,564	22,628	(2,064)	91%

Long Lake Ranch CDD
General Fund
Statement of Revenue, Expenditures, and Changes in Fund Balance
For the period from October 1, 2022 to February 28, 2023

	FY 2023 Month of October	FY 2023 Month of November	FY 2023 Month of December	FY 2023 Month of January	FY 2023 Month of February	FY 2023 Total Actual Year-to-Date	FY 2023 Amended Budget	VARIANCE Over (Under) to Budget	% Actual YTD / FY Budget
38 UTILITIES									
39 UTILITIES - ELECTRICITY	3,730	3,586	3,632	5,282	3,765	19,996	90,000	(70,004)	22%
40 UTILITIES - STREETLIGHTS	10,809	10,805	10,807	11,208	10,042	53,672	150,000	(96,328)	36%
41 UTILITIES - WATER/SEWER	763	272	279	358	279	1,951	25,000	(23,049)	8%
42 UTILITIES - SOLID WASTE REMOVAL	174	1,426	91	88	88	1,868	1,716	152	109%
43 TOTAL UTILITIES	15,476	16,090	14,809	16,937	14,174	77,486	266,716	(189,230)	29%
44 SECURITY									
45 SECURITY MISCELLANEOUS EXPENSE (EQUIPMENT)	650	(380)	-	1,198	-	1,468	7,600	(6,132)	19%
46 TOTAL SECURITY	650	(380)	-	1,198	-	1,468	7,600	(6,132)	19%
47 COMMUNITY MAINTENANCE									
48 FIELD SERVICES	421	421	421	421	421	2,105	5,051	(2,946)	42%
49 FOUNTAIN SERVICE REPAIRS & MAINTENANCE	-	600	443	-	600	1,643	3,500	(1,857)	47%
50 AQUATIC MAINTENANCE	4,920	2,460	2,460	-	2,460	12,300	29,520	(17,220)	42%
51 MITIGATION AREA MONITORING & MAINTENANCE	-	-	-	-	-	-	3,100	(3,100)	0%
52 AQUATIC PLANT REPLACEMENT	-	-	-	-	-	-	2,500	(2,500)	0%
53 STORMWATER SYSTEM MAINTENANCE	-	-	-	-	-	-	500	(500)	0%
54 FISH STOCKING	-	-	-	-	-	-	11,100	(11,100)	0%
55 LAKE & POND MAINTENANCE	-	-	-	-	-	-	2,000	(2,000)	0%
56 ENTRY & WALLS MAINTENANCE	-	-	-	-	-	-	5,500	(5,500)	0%
57 LANDSCAPE MAINTENANCE - CONTRACT	13,675	13,675	13,675	13,675	13,675	68,375	183,982	(115,607)	37%
58 LANDSCAPE REPLACEMENT MULCH	-	-	-	60,000	-	60,000	70,000	(10,000)	86%
59 LANDSCAPE REPLACEMENT ANNUALS	7,272	-	7,272	-	-	14,544	24,000	(9,456)	61%
60 LANDSCAPE REPLACEMENT PLANTS & SHRUBS	-	-	49,142	-	2,850	51,992	45,000	6,992	116%
61 TREE TRIMMING & MAINTENANCE	-	675	-	-	-	675	16,000	(15,325)	4%
62 OTHER LANDSCAPE -FIRE ANT TREAT	-	-	-	-	-	-	4,500	(4,500)	0%
63 IRRIGATION REPAIRS & MAINTENANCE	-	-	-	1,443	-	1,443	6,000	(4,558)	24%
64 DECORATIVE LIGHT MAINTENANCE	4,000	-	-	-	-	4,000	9,050	(5,050)	44%
65 PRESSURE WASHING	-	-	-	-	450	450	30,000	(29,550)	1%
66 FIELD CONTINGENCY	1,200	-	-	-	-	1,200	22,931	(21,731)	5%
67 TOTAL PHYSICAL ENVIRONMENT	31,488	17,831	73,412	75,538	20,456	218,726	474,234	(255,508)	46%
68 ROAD & STREET FACILITIES									
69 SIDEWALK REPAIR & MAINTENANCE	-	-	-	-	-	-	1,000	(1,000)	0%
70 ROADWAY REPAIR & MAINTENANCE	-	-	-	-	-	-	1,000	(1,000)	0%
71 SIGNAGE REPAIR & REPLACEMENT	-	-	-	-	-	-	5,000	(5,000)	0%
72 TOTAL ROAD & STREET FACILITIES	-	-	-	-	-	-	7,000	(7,000)	0%

Long Lake Ranch CDD
General Fund
Statement of Revenue, Expenditures, and Changes in Fund Balance
For the period from October 1, 2022 to February 28, 2023

	FY 2023 Month of October	FY 2023 Month of November	FY 2023 Month of December	FY 2023 Month of January	FY 2023 Month of February	FY 2023 Total Actual Year-to-Date	FY 2023 Amended Budget	VARIANCE Over (Under) to Budget	% Actual YTD / FY Budget
73 AMENITY MAINTENANCE									
74 CLUBHOUSE MANAGEMENT	8,979	9,396	9,212	8,979	10,011	46,578	126,928	(80,350)	37%
75 POOL MAINTENANCE - CONTRACT	2,315	-	-	4,630	2,315	9,260	27,780	(18,520)	33%
76 DOG WASTE STATION SUPPLIES	-	-	417	417	134	968	5,460	(4,492)	18%
77 AMENITY MAINTENANCE & REPAIR	555	1,918	664	430	70	3,636	21,000	(17,364)	17%
78 OFFICE SUPPLIES	41	62	-	14	69	185	500	(315)	37%
79 FURNITURE REPAIR/REPLACEMENT	-	-	-	-	-	-	1,500	(1,500)	0%
80 POOL REPAIRS	-	135	355	690	-	1,180	1,500	(320)	79%
81 POOL PERMITS	-	-	-	-	-	-	1,000	(1,000)	0%
82 COMMUNICATIONS (TEL, FAX, INTERNET)	263	302	296	297	297	1,456	5,000	(3,544)	29%
83 FACILITY A/C & HEATING MAINTENANCE & REPAIRS	-	-	-	-	-	-	2,000	(2,000)	0%
84 COMPUTER SUPPORT MAINTENANCE & REPAIR	-	-	-	-	132	132	1,000	(868)	13%
85 PLAYGROUND EQUIPMENT & MAINTENANCE	-	-	-	-	-	-	1,000	(1,000)	0%
86 ATHLETIC/PARK & COURT/FIELD REPAIRS	184	300	-	97	652	1,233	5,000	(3,767)	25%
87 PEST CONTROL	-	-	300	-	300	600	2,460	(1,860)	24%
88 CLUBHOUSE SUPPLIES	-	-	-	-	47	47	2,500	(2,453)	2%
89 TOTAL PARKS AND RECREATION	12,337	12,113	11,243	15,554	14,027	65,275	204,628	(139,353)	32%
90 TOTAL EXPENDITURES	\$ 97,459	\$ 54,313	\$ 111,179	\$ 117,383	\$ 57,007	437,341	1,117,666	(680,325)	39%
91 EXCESS OF REVENUE OVER (UNDER) EXPENDITURES	(96,325)	177,464	779,702	(107,919)	(39,873)	713,047	50,000	663,047	
92 OTHER FINANCING SOURCES & USES									
93 TRANSFERS IN	-	-	-	-	-	-	-	-	
94 TRANSFERS OUT	(95,877)	-	-	-	-	(95,877)	(50,000)	(45,877)	
95 TOTAL OTHER FINANCING RESOURCES & USES	(95,877)	-	-	-	-	(95,877)	(50,000)	(45,877)	
96 NET CHANGE IN FUND BALANCE	\$ (192,203)	\$ 177,464	\$ 779,702	\$ (107,919)	\$ (39,873)	\$ 617,170	\$ -	\$ 617,170	

Long Lake Ranch CDD
Balance Sheet
February 28, 2023

	General Fund	Reserve Fund	Debt Service 2014	Debt Service 2015	Debt Service 2016	TOTAL
1 ASSETS						
2 OPERATING ACCOUNT - BU	\$ 1,205,917	\$ -	\$ -	\$ -	\$ -	\$ 1,205,917
3 MONEY MARKET ACCOUNT - BU	-	915,504	-	-	-	915,504
4 RESERVE ACCOUNT - BU	-	95,543	-	-	-	95,543
5 TRUST ACCOUNTS:						-
6 REVENUE FUND	-	-	383,045	251,040	198,903	832,988
7 RESERVE FUND	-	-	318,994	117,969	96,531	533,494
8 PREPAYMENT FUND	-	-	281	-	1,626	1,907
9 ACCOUNTS RECEIVABLE	-	-	-	-	-	-
10 ASSESSMENTS RECEIVABLE - ON ROLL	20,882	3,987	5,706	4,225	3,443	38,244
11 DUE FROM OTHER FUNDS	102,551	218,641	6,997	5,180	4,222	337,590
12 PREPAID EXPENSES	2,891	-	-	-	-	2,891
13 DEPOSITS	42,903	-	-	-	-	42,903
14 TOTAL ASSETS	\$ 1,375,144	\$ 1,233,675	\$ 715,023	\$ 378,414	\$ 304,726	\$ 4,006,981
15 LIABILITIES						
16 ACCOUNTS PAYABLE	\$ 20,911	\$ -	\$ -	\$ -	\$ -	\$ 20,911
17 SALES TAX	3	-	-	-	-	3
18 ACCRUED EXPENSES	-	-	-	-	-	-
19 DEFERRED REVENUE - ON-ROLL	20,882	3,987	5,706	4,225	3,443	38,244
20 DUE TO OTHER FUNDS	235,039	102,551	-	-	-	337,590
21 TOTAL LIABILITIES	276,835	106,538	5,706	4,225	3,443	396,748
22 FUND BALANCE						
23 NONSPENDABLE						
24 PREPAID & DEPOSITS	45,794	-	-	-	-	45,794
26 CAPITAL RESERVES	-	972,956	-	-	-	972,956
25 OPERATING CAPITAL	201,740	75,000	-	-	-	276,740
27 UNASSIGNED	850,774	79,181	709,316	374,189	301,283	2,314,743
28 TOTAL FUND BALANCE	1,098,308	1,127,137	709,316	374,189	301,283	3,610,234
29 TOTAL LIABILITIES & FUND BALANCE	\$ 1,375,144	\$ 1,233,675	\$ 715,023	\$ 378,414	\$ 304,726	\$ 4,006,981

Long Lake Ranch CDD
Capital Reserve Fund (CRF)
Statement of Revenue, Expenditures, and Changes in Fund Balance
For the period from October 1, 2022 to February 28, 2023

	FY 2023 Amended Budget	FY 2023 Total Actual Year-to-Date	VARIANCE Over (Under) to Budget
1 REVENUE			
2 SPECIAL ASSESSMENTS - ON ROLL (NET)	\$ 222,628	\$ 218,641	\$ (3,987)
3 INTEREST & MISCELLANEOUS	1,000	8,338	7,338
4 TOTAL REVENUE	223,628	226,979	3,351
5 EXPENDITURES			
6 CAPITAL IMPROVEMENT PLAN (CIP)	92,276	98,802	6,526
7 CONTINGENCY	9,228	3,749	(5,479)
8 TOTAL EXPENDITURES	101,504	102,551	1,047
9 EXCESS OF REVENUE OVER (UNDER) EXPENDITURES	122,124	124,428	2,303
10 OTHER FINANCING SOURCES & USES			
11 TRANSFERS IN	50,000	95,877	
12 TRANSFERS OUT	-	-	
13 TOTAL OTHER FINANCING SOURCES & USES	50,000	95,877	45,877
14 FUND BALANCE - BEGINNING	906,832	906,832	-
15 NET CHANGE IN FUND BALANCE	172,124	220,305	48,181
16 FUND BALANCE - ENDING	\$ 1,078,956	\$ 1,127,137	\$ 48,181
17 ANALYSIS OF FUND BALANCE			
18 ASSIGNED			
19 FUTURE CAPITAL IMPROVEMENTS	972,956	972,956	
20 WORKING CAPITAL	75,000	75,000	
21 UNASSIGNED	31,000	79,181	
22 FUND BALANCE - ENDING	\$ 1,078,956	\$ 1,127,137	

Long Lake Ranch CDD
Debt Service Fund - Series 2014
Statement of Revenue, Expenditures, and Changes in Fund Balance
For the period from October 1, 2022 to February 28, 2023

	FY 2023 Adopted Budget	FY 2023 Total Actual Year-to-Date	VARIANCE Over (Under) to Budget
1 REVENUE			
2 SPECIAL ASSESSMENTS - ON ROLL (NET)	\$ 318,994	\$ 312,924	\$ (6,070)
3 INTEREST REVENUE	-	6,075	6,075
4 TOTAL REVENUE	318,994	318,998	4
5 EXPENDITURES			
6 INTEREST EXPENSE			
7 November 1, 2022	-	115,763	115,763
8 May 1, 2023	115,763	-	(115,763)
9 November 1, 2023	113,231	-	(113,231)
10 PRINCIPAL RETIREMENT			-
11 May 1, 2023	90,000	-	(90,000)
12 TOTAL EXPENDITURES	318,994	115,763	(203,231)
13 EXCESS OF REVENUE OVER (UNDER) EXP.	-	203,236	203,236
14 OTHER FINANCING SOURCES (USES)			
15 TRANSFERS IN	-	-	-
16 TRANSFERS OUT	-	-	-
17 TOTAL OTHER FINANCING SOURCES (USES)	-	-	-
18 FUND BALANCE - BEGINNING	506,081	506,081	-
19 NET CHANGE IN FUND BALANCE	-	203,236	203,236
20 FUND BALANCE - ENDING	\$ 506,081	\$ 709,316	\$ 203,236

Long Lake Ranch CDD
Debt Service Fund- Series 2015
Statement of Revenue, Expenditures, and Changes in Fund Balance
For the period from October 1, 2022 to February 28, 2023

	FY 2023 Adopted Budget	FY 2023 Total Actual Year-to-Date	VARIANCE Over (Under) to Budget
1 REVENUE			
2 SPECIAL ASSESSMENTS - ON ROLL (NET)	\$ 235,938	\$ 231,675	\$ (4,262)
3 INTEREST REVENUE	-	4	4
4 TOTAL REVENUE	235,938	231,680	(4,258)
5 EXPENDITURES			
6 INTEREST EXPENSE			
7 November 1, 2022	-	88,119	88,119
8 May 1, 2023	88,119	-	(88,119)
9 November 1, 2023	86,319	-	(86,319)
10 PRINCIPAL RETIREMENT			-
11 May 1, 2023	60,000	-	(60,000)
12 TOTAL EXPENDITURES	234,438	88,119	(146,319)
13 EXCESS OF REVENUE OVER (UNDER) EXP.	1,500	143,561	142,061
14 OTHER FINANCING SOURCES (USES)			
15 TRANSFERS IN	-	-	-
16 TRANSFERS OUT	-	-	-
17 TOTAL OTHER FINANCING SOURCES (USES)	-	-	-
18 FUND BALANCE - BEGINNING	230,628	230,628	-
19 NET CHANGE IN FUND BALANCE	1,500	143,561	142,061
20 FUND BALANCE - ENDING	\$ 232,128	\$ 374,189	\$ 142,061

Long Lake Ranch CDD
Debt Service Fund- Series 2016
Statement of Revenue, Expenditures, and Changes in Fund Balance
For the period from October 1, 2022 to February 28, 2023

	FY 2023 Adopted Budget	FY 2023 Total Actual Year-to-Date	VARIANCE Over (Under) to Budget
1 REVENUE			
2 SPECIAL ASSESSMENTS - ON ROLL (NET)	\$ 192,869	\$ 188,825	\$ (4,044)
3 INTEREST REVENUE	-	1,362	1,362
4 TOTAL REVENUE	192,869	190,187	(2,682)
5 EXPENDITURES			
6 INTEREST EXPENSE			
7 November 1, 2022	-	63,434	63,434
8 May 1, 2023	63,434	-	(63,434)
9 November 1, 2023	62,134	-	(62,134)
10 PRINCIPAL RETIREMENT			-
11 May 1, 2023	65,000	-	(65,000)
12 PRINCIPAL PREPAYMENT	-	15,000	15,000
13 TOTAL EXPENDITURES	190,569	78,434	(112,134)
14 EXCESS OF REVENUE OVER (UNDER) EXP.	2,300	111,753	109,453
15 OTHER FINANCING SOURCES (USES)			
16 TRANSFERS IN	-	-	-
17 TRANSFERS OUT	-	-	-
18 TOTAL OTHER FINANCING SOURCES (USES)	-	-	-
19 FUND BALANCE - BEGINNING	189,530	189,530	-
20 NET CHANGE IN FUND BALANCE	2,300	111,753	109,453
21 FUND BALANCE - ENDING	\$ 191,830	\$ 301,283	\$ 109,453

Long Lake Ranch CDD Check Register - FY2023

Date	Ref. Num	Name	Memo	Deposits	Disbursements	Balance
09/30/2022		EOY Balance				364,594.10
10/01/2022	1461	Egis Insurance & Risk Advisors	Insurance FY 10/1/22 - 10/1/23 Policy # 100122769		20,564.00	344,030.10
10/03/2022	01ACH100322	Duke Energy	Summary Bill - Sept 2022		14,691.39	329,338.71
10/04/2022	100044	County Sanitation	Invoice: 100322-6755 (Reference: 19037 Long Lake Ranch Blvd..)		87.21	329,251.50
10/04/2022	100045	Innersync	Invoice: 20770 (Reference: Outgoing PDF Accessibility and Website Services.)		1,537.50	327,714.00
10/04/2022	100046	Vesta Property Services, Inc.	Invoice: 401900 (Reference: Oct Management Services fees.)		8,979.23	318,734.77
10/06/2022	100047	County Sanitation	Invoice: 2A127846 (Reference: 19037 Long Lake Ranch- Trash Removal.)		87.21	318,647.56
10/06/2022	100048	Johnson Engineering, Inc.	Invoice: 34 (Reference: Professional Personnel 9.11.) Invoice: 4 (Reference: Professional Ser...		742.50	317,905.06
10/06/2022	100049	RedTree Landscape Systems	Invoice: 11549 (Reference: Monthly Grounds Maintenance.) Invoice: 11461 (Reference: Replac		15,892.50	302,012.56
10/06/2022	100050	Vesta Property Services	Invoice: WC0129 (Reference: Replaced 2 pool ladder treads at main pool.) Invoice: WC0142 (F		420.00	301,592.56
10/06/2022	100051	A Total Solution, Inc.	Invoice: 0000164442 (Reference: Replaced check Valve #2.)		1,358.81	300,233.75
10/11/2022	ACH1101122	Pasco County Utilities Services Branch	18981 Long Lake Ranch Blvd 08/08-09/08/22		70.74	300,163.01
10/11/2022	100052	DCSI, Inc " Security & Sound"	Invoice: 30016 (Reference: access control.)		11,825.00	288,338.01
10/11/2022	100053	Florida Field Services Group, LLC	Invoice: 678 (Reference: 50% deposit - reinstallation of holiday lighting.)		4,000.00	284,338.01
10/11/2022	100054	RedTree Landscape Systems	Invoice: 11444 (Reference: Landscape construction- remove dead/ declining cypress trees.)		3,920.00	280,418.01
10/11/2022	100055	DCSI, Inc " Security & Sound"	Invoice: 29998 (Reference: Access/ Gate Service.)		125.00	280,293.01
10/11/2022	100056	GHS LLC	Invoice: 2022-489 (Reference: Aquatic Maintenance Program.)		2,460.00	277,833.01
10/12/2022	101222ACH1	Frontier	Phone and Internet - 9/15-10/14		100.99	277,732.02
10/12/2022	101222ACH2	Frontier	Phone and Internet - 09/15-10/14/22		163.40	277,568.62
10/12/2022	ACH101222	Duke Energy	000 Sunlake Blvd Lite 08/17-9/16		336.94	277,231.68
10/14/2022	100057	DCSI, Inc " Security & Sound"	Invoice: 29991 (Reference: Access Cards.)		525.00	276,706.68
10/14/2022	101422ACH3	Engage PEO	BOS MTG 10/6/22		141.80	276,564.88
10/14/2022	101422ACH2	George Smith, Jr	BOS MTG 10/6/22		184.70	276,380.18
10/14/2022	101422ACH1	Jim Kofor	BOS MTG 10/6/22		184.70	276,195.48
10/14/2022	23	William Pellan	BOS MTG 10/6/22		184.70	276,010.78
10/18/2022	ACH 101822	Florida Department of Revenue	Sales Tax 3rd Qt 2022		188.81	275,821.97
10/20/2022			Deposit	800.00		276,621.97
10/22/2022	ACH 102222	Credit Card Purchases	Credit Card payment Oct 2022		1,100.17	275,521.80
10/24/2022	102422ACH1	Pasco County Utilities Services Branch	Reference: 0 Community center 8/19-9/20		529.91	274,991.89
10/24/2022	102422ACH2	Pasco County Utilities Services Branch	Reference: 18981 Long Lake Ranch blvd 8/19-9/20		161.07	274,830.82
10/24/2022			Funds Transfer	8.66		274,839.48
10/26/2022	100058	DPFG M&C	Invoice: 403544 (Reference: Dissemination agent.) Invoice: 403514 (Reference: Oct Manageme		7,337.58	267,501.90
10/26/2022	100059	Kutak Rock LLP	Invoice: 3125416 (Reference: Professional Services Rendered.) Invoice: 3125413 (Reference: P		3,091.50	264,410.40
10/26/2022	100060	Vesta Property Services	Invoice: 403571 (Reference: Monthly pool services.) Invoice: 403621 (Reference: Oct Managen		11,710.90	252,699.50
10/31/2022		EOM Balance		808.66	112,703.26	252,699.50
11/01/2022	ACH110122	Duke Energy	Summary Bill - OCT 2022		14,202.25	238,497.25
11/01/2022	100061	GHS LLC	Invoice: 2022-538 (Reference: Aquatic Maintenance Program.)		2,460.00	236,037.25
11/03/2022			Deposit	800.00		236,837.25
11/07/2022			Deposit: Tax Assessments	10,329.01		247,166.26
11/08/2022	ACH110822	Frontier	Phone and Internet -10/15 - 11/14		162.40	247,003.86
11/08/2022			Deposit	630.00		247,633.86
11/08/2022			Deposit	7,853.00		255,486.86
11/08/2022	100062	Johnson Engineering, Inc.	Invoice: 35 (Reference: Engineering professional services.)		297.50	255,189.36
11/08/2022	100063	RedTree Landscape Systems	Invoice: 11690 (Reference: landscape enhancement performed 10/3.) Invoice: 11770 (Reference		22,389.50	232,799.86
11/08/2022	100064	The Lake Doctors, Inc.	Invoice: 46279B (Reference: Fountain quarterly cleaning.)		600.00	232,199.86
11/08/2022	100065	Patriot Amenity Services Group LLC	Invoice: 1809 (Reference: Disposal of old patio furniture.)		200.00	231,999.86
11/08/2022	100066	Site Master of Florida, LLC	Invoice: 101922-1 (Reference: Repaired erosion on west side of dock.)		1,200.00	230,799.86
11/08/2022	ACH11822	Duke Energy	000 Sunlake Blvd Lite 09/17-10/17		336.94	230,462.92
11/09/2022	ACH 110922	Frontier	Phone and Internet - 10/15-11/14		100.99	230,361.93
11/11/2022	111122ACH5	Engage PEO	BOS MTG 11/3/22		172.40	230,189.53

Long Lake Ranch CDD

Check Register - FY2023

Date	Ref. Num	Name	Memo	Deposits	Disbursements	Balance
11/11/2022	111122ACH1	George Smith, Jr	BOS MTG 11/3/22		184.70	230,004.83
11/11/2022	111122ACH2	Heidi Clawson	BOS MTG 11/3/22		184.70	229,820.13
11/11/2022	111122ACH3	James Christopher Koford	BOS MTG 11/3/22		184.70	229,635.43
11/11/2022	24	William Pellan	BOS MTG 11/3/22		184.70	229,450.73
11/14/2022	1463	Board of County Commissioners	Parcel 34-26-18-0020-0000-0P10 (annual solid waste)		1,336.94	228,113.79
11/14/2022	1464	Board of County Commissioners	Parcel 33-26-18-0030 (annual solid waste)		89.28	228,024.51
11/14/2022	ACH111422	Pasco County Utilities Services Branch	18981 Long Lake Ranch Blvd 09/08-10/07/22		71.80	227,952.71
11/15/2022			Deposit: Tax Assessments	94,294.75		322,247.46
11/16/2022			Deposit	370.00		322,617.46
11/16/2022	100067	DCSI, Inc " Security & Sound"	Invoice: 30076 (Reference: Replace camera system.)		22,151.50	300,465.96
11/16/2022	100068	DPFG M&C	Invoice: 404421 (Reference: Monthly contract management fees.)		4,309.29	296,156.67
11/21/2022	ACH111/2122	Pasco County Utilities Services Branch	18981 Long Lake Ranch Blvd 09/20-10/19/22		148.75	296,007.92
11/21/2022	ACH2112122	Pasco County Utilities Services Branch	0 Community Center 9/20 - 10/19		51.59	295,956.33
11/21/2022	1465	DEPT OF ECONOMIC OPPORTUNITY	FY 2022/2023 Special District Fee Invoice/Update Form		175.00	295,781.33
11/21/2022			Deposit	106,788.60		402,569.93
11/23/2022	100069	DCSI, Inc " Security & Sound"	Invoice: 30115 (Reference: Replace PoE switch , surge protector & Battery backup.)		972.00	401,597.93
11/23/2022	100070	Johnson Engineering, Inc.	Invoice: 36 (Reference: General Engineering services.)		967.50	400,630.43
11/25/2022			Deposit: Tax Assessments	209,466.04		610,096.47
11/28/2022			Deposit	800.00		610,896.47
11/30/2022	ACH113022	Duke Energy	Summary Bill -10/04-Nov/01 2022		14,054.85	596,841.62
11/30/2022	100071	Jeffrey K. Murphy	Invoice: 111822 (Reference: Land Surveying.)		300.00	596,541.62
11/30/2022	ACH 113022	Credit Card Purchases	Credit Card payment Nov 2022		1,009.91	595,531.71
11/30/2022	EOM Balance			431,331.40	88,499.19	595,531.71
12/02/2022			Deposit	1,445,852.78		2,041,384.49
12/06/2022			Deposit	180.00		2,041,564.49
12/06/2022	100072	Vesta Property Services, Inc.	Invoice: 404480 (Reference: December fees.)		9,395.90	2,032,168.59
12/07/2022	ACH120722	Duke Energy	000 Sunlake Blvd Lite 10/18-11/15		336.94	2,031,831.65
12/07/2022	100073	GHS LLC	Invoice: 2022-573 (Reference: Aquatic Maintenance Program.)		2,460.00	2,029,371.65
12/07/2022	100074	Kutak Rock LLP	Invoice: 3141229 (Reference: Professional legal Services Rendered.)		891.57	2,028,480.08
12/07/2022	100075	DCSI, Inc " Security & Sound"	Invoice: 30169 (Reference: Access/ Gate Service.)		250.00	2,028,230.08
12/07/2022	100076	Home Team Pest Defense, Inc.	Invoice: 88598622 (Reference: Pest control service.)		300.00	2,027,930.08
12/07/2022	100077	LLS Tax Solutions Inc.	Invoice: 002856 (Reference: Arbitrage Services.)		500.00	2,027,430.08
12/07/2022	100078	RedTree Landscape Systems	Invoice: 12140 (Reference: Grounds Maintenance.) Invoice: 11959 (Reference: Arbor care perfr		14,350.00	2,013,080.08
12/07/2022	100079	Vesta Property Services	Invoice: WC0167 (Reference: replace 2 white gutter drain grates with screws at main pool.) In..		135.00	2,012,945.08
12/07/2022	100080	Vanguard Cleaning Systems	Invoice: 103734 (Reference: One Time Cleaning of 6 Bathrooms 11/19/2022.)		275.00	2,012,670.08
12/08/2022	ACH120822	Pasco County Utilities Services Branch	18981 Long Lake Ranch Blvd 10/07-11/07/22		71.80	2,012,598.28
12/09/2022	ACH120922	Frontier	Phone and Internet -11/15 - 12/14		201.47	2,012,396.81
12/09/2022	122922 ACH4	Engage PEO	BOS MTG 12/1/22		142.60	2,012,254.21
12/09/2022	122922ACH1	George Smith, Jr	BOS MTG 12/1/22		184.70	2,012,069.51
12/09/2022	122922ACH2	Heidi Clawson	BOS MTG 12/9/22		184.70	2,011,884.81
12/09/2022	25	William Pellan	BOS MTG 12/1/22		184.70	2,011,700.11
12/09/2022			Deposit	166,117.02		2,177,817.13
12/09/2022	01ACH120922	Frontier	Phone and Internet - 11/15-12/14		100.99	2,177,716.14
12/15/2022	1466	Mike Fasano. Pasco County Tax Collector	2030 Lake Waters Place 33-26-18-0030-0P200-0000		101.36	2,177,614.78
12/15/2022	1467	Mike Fasano. Pasco County Tax Collector	19037 Long Lake Ranch Blvd 34-26-18-0020-00000-0P10 County Stormwater		92.15	2,177,522.63
12/16/2022	100081	County Sanitation	Invoice: 2C100633 (Reference: Trash Service.)		91.40	2,177,431.23
12/16/2022	100082	DPFG M&C	Invoice: 405579 (Reference: Monthly management fees.)		4,337.58	2,173,093.65
12/16/2022	100083	Kutak Rock LLP	Invoice: 3141230 (Reference: Professional legal Services Rendered.)		2,000.00	2,171,093.65
12/16/2022	100084	Fencing Life LLC	Invoice: 2209-2812-2635-1 (Reference: Fence Repair.)		29,076.76	2,142,016.89
12/19/2022	ACH121922	Pasco County Utilities Services Branch	18981 Long Lake Ranch Blvd 10/19-11/18/22		148.75	2,141,868.14

Long Lake Ranch CDD Check Register - FY2023

Date	Ref. Num	Name	Memo	Deposits	Disbursements	Balance
12/19/2022	01ACH121922	Pasco County Utilities Services Branch	0 Community Center 10/19-11/18		58.07	2,141,810.07
12/20/2022			Deposit	17,396.30		2,159,206.37
12/22/2022	100085	Dibartolomeo, McBee, Hartley & Barnes, PA	Invoice: 90085636 (Reference: Auditing services.)		3,850.00	2,155,356.37
12/22/2022	ACH 122222	Credit Card Purchases			2,738.05	2,152,618.32
12/27/2022			Deposit	800.00		2,153,418.32
12/28/2022			Deposit	240.00		2,153,658.32
12/30/2022	ACH123022	Duke Energy	Summary Bill -11/02-12/01 2022		14,101.69	2,139,556.63
12/30/2022	100086	GHS LLC	Invoice: 2022-628 (Reference: Routine Aquatic Maintenance.)		2,460.00	2,137,096.63
12/30/2022	100087	Kutak Rock LLP	Invoice: 3156608 (Reference: Professional legal Services Rendered.) Invoice: 3156607 (Referer		2,243.00	2,134,853.63
11/30/2022		EOM Balance		1,630,586.10	91,264.18	2,134,853.63
01/04/2023			Deposit	45.00		2,134,898.63
01/05/2023	1468	US Bank	Trustee Fees Series 2015 A-1 and A-2 (10/01/22- 09/30/23)		4,040.63	2,130,858.00
01/05/2023	1469	US Bank Tax distribution	Tax Collection Distribution 2014A		307,160.67	1,823,697.33
01/05/2023	1470	US Bank Tax distribution	Tax Collection Distribution 2015		227,408.75	1,596,288.58
01/05/2023	1471	US Bank Tax distribution	Tax Collection Distribution 2016		185,351.44	1,410,937.14
01/05/2023	1472	US Bank	Trustee Fees Series 2016 (12/01/22-11/30/23)		4,040.63	1,406,896.51
01/06/2023	100088	DCSI, Inc " Security & Sound"	Invoice: 30235 (Reference: Set up new desktop computer.)		500.00	1,406,396.51
01/06/2023	100089	RedTree Landscape Systems	Invoice: 12220 (Reference: landscape enhancement performed.) Invoice: 12221 (Reference: lan		70,088.50	1,336,308.01
01/06/2023	100090	Vesta Property Services, Inc.	Invoice: 405700 (Reference: January Service Fees.)		9,395.90	1,326,912.11
01/09/2023	ACH010923	Frontier	Phone and Internet -12/15 - 01/14		195.02	1,326,717.09
01/09/2023	ACH010923	Pasco County Utilities Services Branch	18981 Long Lake Ranch Blvd 11/07-12/07/22		71.80	1,326,645.29
01/09/2023	100091	Florida Fountains & Equipment LLC	Invoice: 2022-3705 (Reference: Fountain maintenance.)		442.99	1,326,202.30
01/09/2023	01ACH010923	Duke Energy	000 Sunlake Blvd Lite 11/16-12/15		336.94	1,325,865.36
01/10/2023	ACH 011023	Frontier	Phone and Internet - 12/15-01/14		100.99	1,325,764.37
01/11/2023	1473	James Christopher Koford	Check # 1027 not cashed for Meeting Date 12/7/20 for James Christopher Koford.		200.00	1,325,564.37
01/11/2023	100092	Business Observer	Invoice: 22-02176P (Reference: Legal advertising- Notice of meeting.)		65.63	1,325,498.74
01/12/2023			Deposit	15,868.36		1,341,367.10
01/13/2023	100093	DPFG M&C	Invoice: 406412 (Reference: Dec Billable expenses.) Invoice: 406487 (Reference: Monthly cont		4,364.49	1,337,002.61
01/13/2023	100094	Vesta Property Services	Invoice: 406555 (Reference: Amenity Services.)		232.77	1,336,769.84
01/13/2023	11323ACH3	Engage PEO	BOS MTG 1/05/23		142.60	1,336,627.24
01/13/2023	11323ACH1	George Smith, Jr	BOS MTG 1/05/23		184.70	1,336,442.54
01/13/2023	11323ACH3	Heidi Clawson	BOS MTG 1/05/23		184.70	1,336,257.84
01/13/2023	26	William Pellan	BOS MTG 1/05/23		184.70	1,336,073.14
01/19/2023	ACH 011923	Florida Department of Revenue	Sales Tax 4th Qt 2022		272.32	1,335,800.82
01/20/2023	1474	Mike Fasano. Pasco County Tax Collector	Negative Distribution		31.80	1,335,769.02
01/20/2023	100095	DCSI, Inc " Security & Sound"	Invoice: 30320 (Reference: Install wall mounted AV rack.)		1,198.00	1,334,571.02
01/20/2023	100096	Kutak Rock LLP	Invoice: 3168542 (Reference: Professional legal Services Rendered.) Invoice: 3168541 (Referer		2,825.00	1,331,746.02
01/23/2023	ACH1012323	Pasco County Utilities Services Branch	18981 Long Lake Ranch Blvd 11/18-12/19/22		157.27	1,331,588.75
01/23/2023	ACH2012323	Pasco County Utilities Services Branch	0 Community Center 11/18 - 12/19		129.35	1,331,459.40
01/23/2023	ACH 012323	Credit Card Purchases			1,368.89	1,330,090.51
01/27/2023	100097	Business Observer	Invoice: 23-00079P (Reference: Legal advertising- Notice of meeting.)		65.63	1,330,024.88
01/27/2023	100098	Johnson Engineering, Inc.	Invoice: 37 (Reference: Professional Engineering Services.)		425.00	1,329,599.88
01/27/2023	100099	Coastal Waste & Recycling, Inc.	Invoice: SW0000247527 (Reference: Monthly waste collection.)		87.83	1,329,512.05
01/30/2023			Deposit	800.00		1,330,312.05
01/31/2023	1475	Fencing Life LLC	Reference: Fence Repair.		29,076.75	1,301,235.30
01/31/2023		EOM Balance		16,713.36	850,331.69	1,301,235.30
02/01/2023	ACH020123	Duke Energy	Summary Bill -12/02-01/03 2023		16,145.68	1,285,089.62
02/02/2023	100100	Vesta Property Services, Inc.	Invoice: 406662 (Reference: Amenity Management services.)		6,139.83	1,278,949.79
02/03/2023	1476	Fencing Life LLC	Reference: Fence Repair at primrose		652.09	1,278,297.70
02/06/2023	100101	RedTree Landscape Systems	Invoice: 12569 (Reference: Grounds Maintenance.)		13,675.00	1,264,622.70

Long Lake Ranch CDD

Check Register - FY2023

Date	Ref. Num	Name	Memo	Deposits	Disbursements	Balance
02/06/2023	100102	The Lake Doctors, Inc.	Invoice: 68541B (Reference: Fountain cleaning service- Quarterly.)		600.00	1,264,022.70
02/08/2023	ACH020823	Frontier	Phone and Internet -01/15 - 02/14-23		196.25	1,263,826.45
02/08/2023	ACH020823	Duke Energy	000 Sunlake Blvd Lite 12/16/22-1/17/23		345.00	1,263,481.45
02/08/2023			Deposit	31,021.25		1,294,502.70
02/09/2023			Deposit	195.00		1,294,697.70
02/09/2023	ACH 020923	Frontier	Phone and Internet - 01/15-02/14		100.99	1,294,596.71
02/10/2023	21023ACH3	Engage PEO	BOS MTG 2/02/23		142.60	1,294,454.11
02/10/2023	21023ACH1	George Smith, Jr	BOS MTG 2/02/23		184.70	1,294,269.41
02/10/2023	21023ACH2	Heidi Clawson	BOS MTG 2/02/23		184.70	1,294,084.71
02/10/2023	27	William Pellan	BOS MTG 2/02/23		184.70	1,293,900.01
02/13/2023	ACH021323	Pasco County Utilities Services Branch	18981 Long Lake Ranch Blvd 12/07/22-1/06/23		71.80	1,293,828.21
02/16/2023	100103	RedTree Landscape Systems	Invoice: 12625 (Reference: landscape enhancement performed.) Invoice: 12636 (Reference: lan		62,850.00	1,230,978.21
02/16/2023	100104	Vesta Property Services, Inc.	Invoice: 407485 (Reference: Facility maintenance.)		1,868.13	1,229,110.08
02/16/2023	100105	Vesta Property Services	Invoice: 407407 (Reference: Dec pool maintenance.)		2,315.00	1,226,795.08
02/16/2023	100106	Coastal Waste & Recycling, Inc.	Invoice: SW0000263113 (Reference: Monthly waste collection.)		87.83	1,226,707.25
02/21/2023	ACH022123	Pasco County Utilities Services Branch	0 Community Center 12/19/22-01-18-23		58.07	1,226,649.18
02/21/2023	11ACH022123	Pasco County Utilities Services Branch	18981 Long Lake Ranch Blvd 12/19/22- 01/18/23		148.75	1,226,500.43
02/21/2023	100107	Business Observer	Invoice: 23-00243P (Reference: Advertising Supervisors Meeting.)		67.81	1,226,432.62
02/21/2023	100108	DPFG M&C	Invoice: 407591 (Reference: Monthly contracted management fees.)		4,337.58	1,222,095.04
02/21/2023	100109	GHS LLC	Invoice: 2023-113 (Reference: Aquatic Maintenance Program.)		2,460.00	1,219,635.04
02/21/2023	100110	Vesta Property Services	Invoice: 407408 (Reference: Monthly Management Fees.) Invoice: 407409 (Reference: Monthly		4,630.00	1,215,005.04
02/22/2023	ACH 022223	Credit Card Purchases			1,312.58	1,213,692.46
02/27/2023	100111	Home Team Pest Defense, Inc.	Invoice: 90454983 (Reference: HOA Conventional Pest Control service.)		300.00	1,213,392.46
02/27/2023	100112	Johnson Engineering, Inc.	Invoice: 38 (Reference: General Engineering services.)		552.50	1,212,839.96
02/27/2023	100113	Kutak Rock LLP	Invoice: 3182041 (Reference: Professional legal Services Rendered.) Invoice: 3182040 (Referer		3,116.04	1,209,723.92
02/27/2023	100114	Fencing Life LLC	Invoice: 2302-2122-7014 (Reference: Fence Repair.)		3,117.13	1,206,606.79
02/27/2023	100115	GPS Pools Inc	Invoice: CR MAIN (Reference: Pool repairs and maintenance.)		689.99	1,205,916.80
02/28/2023		EOM Balance		31,216.25	126,534.75	1,205,916.80

EXHIBIT 8



duke-energy.com
877.372.8477

Your Summary Bill

Page 1 of 11

LONG LAKE RANCH COMM DEV DIS

Bill date Jan 11, 2023
For service Dec 2 - Jan 3
33 days

Billing summary

Previous Amount Due	\$14,101.69
Payment Received Dec 30	-14,101.69
Current Electric Charges	5,282.25
Current Lighting Charges	10,666.51
Taxes	196.92
Total Amount Due Feb 01	\$16,145.68

If you have questions, you can reach us at collectivebillingdef@duke-energy.com.

Collective account number **9300 0001 2497**

Billing summary by account

Account Number	Service Address	Totals
910089675911	1023 SUNLAKE BLVD MONUMENT LUTZ FL 33558	30.74
910089651666	18981 LONG LAKE RANCH BLVD LUTZ FL 33558	462.63
910089634607	2091 SERENOA DR LUTZ FL 33558	30.63
910089632754	18864 ROSEATE DR MAIL KIOSK LUTZ FL 33558	30.51
910089626839	18977 LONG LAKE RANCH BLVD LUTZ FL 33558	30.54
910089624358	1642 SUNLAKE BLVD LUTZ FL 33558	30.75

RECEIVED JAN 20 2023

Late payments are subject to a 1.0% late charge.

Please return this portion with your payment. Thank you for your business.



Duke Energy Return Mail
PO Box 1090
Charlotte, NC 28201-1090

Collective account number
9300 0001 2497

Amount of automatic draft

\$16,145.68
by Feb 1

After 90 days from bill date, a
late charge will apply.

000082 000000003



LONG LAKE RANCH COMM DEV DIS
C/O DPFG MC
250 INTERNATIONAL PKWY STE 280
LAKE MARY FL 32746-5018



Duke Energy Payment Processing
PO Box 1094
Charlotte, NC 28201-1094

8893000001249700066000000000000161456800016145688

fb.def.duke.bills.20230110235041.15.afp-163-000000003



Invoice

Vesta Property Services, Inc.
245 Riverside Avenue
Suite 300
Jacksonville FL 32202

Invoice # 406662
Date 2/1/2023

Terms

Due Date 2/1/2023

Memo February'23 Fees

Bill To

Long Lake Ranch CDD
250 International Parkway
Suite #280
Lake Mary FL 32746

Description	Quantity	Rate	Amount
Amenity Management Services	1	6,139.83	6,139.83

Total \$6,139.83

Invoice

2302-0311-7320

2023-02-03

Fencing Life LLC
Weeki Wachee FL 34613
fencinglifellc@gmail.com
352-587-3627

Doug Ruhlig
19037 Long Lake Ranch Blvd
Lutz FL 33558
manager@longlakeranchclub.com
(813) 729-1581

Doug Ruhlig
19037 Long Lake Ranch Blvd, Lutz, FL, 33558

<i>Description</i>	<i>Unit Price</i>	<i>Quantity</i>	<i>Total</i>
<u>60" 3 RAIL BLK ALUMINUM PANEL</u>	\$106.88	3.00	\$320.64
<u>CONCRETE</u>	\$4.98	2.00	\$9.96
<u>TAX</u> Tax on materials	\$21.49	1.00	\$21.49
<u>SERVICE CALL</u>	\$300.00	1.00	\$300.00

Total \$652.09

Due upon completion. Overdue invoices are subject to late fees. A reminder notice will be sent everyday past invoice date. With a letter sent at 30 days if not paid.

Acceptable forms of payment: Cash, Check, Money Order, Cashiers Check, Cash App(2% Fee), PayPal(2% Fee), and Credit Card(4% fee when paying with card).

Invoicing & Payment. Fencing Life LLC shall invoice Client upon completion of the Work. Client shall pay invoice at completion of job. Client shall also pay to Fencing Life LLC a late fee of 2% per day on all balances until paid in full. If client fails to pay on time and Fencing Life LLC refers your account(s) to a third party for collection, Fencing Life LLC will charge all costs associated with the non-payment, including but not limited to, accumulated late fees, return check fees (\$30.00), insufficient funds fees, collection agency fees, and court and attorney costs. Fencing Life LLC will try in every attempt to collect in house, but if all attempts are failed Fencing Life LLC will refer account to a third party collection, in this event all correspondents and/or payments must be made through the collection agency.

Thank you for your business and please remember us for all your project needs!

RedTree Landscape Systems

5532 Auld Lane

Holiday, FL 34690

727-810-4464

service@redtreelandscape.system

s

redtreelandscapesystems.com

Invoice 12569



BILL TO

Long Lake Ranch Community
Development District
250 International Parkway,
Suite 280
Lake Mary, FL 32746 USA

DATE
02/01/2023

PLEASE PAY
\$13,675.00

DUE DATE
02/01/2023

ACTIVITY	QTY	RATE	AMOUNT
Grounds Maintenance	1	13,675.00	13,675.00
Monthly Grounds Maintenance			
For the service month of this billing, kindly refer to the date on the invoice. Thank you!			

TOTAL DUE \$13,675.00

THANK YOU.

MAKE CHECK PAYABLE TO:



Post Office Box 20122
Tampa, FL 33622-0122
(727) 544-7644

ADDRESSEE

☐ Please check if address below is incorrect and indicate change on reverse side

LONG LAKE RANCH
Tish Dobson
19037 Long Lake Ranch Blvd
Lutz, FL 33558-5507

PLEASE FILL OUT BELOW IF PAYING BY CREDIT CARD



CARD NUMBER

EXP. DATE

SIGNATURE

AMOUNT PAID

ACCOUNT NUMBER

DATE

BALANCE

729425

2/1/2023

\$600.00

The Lake Doctors
Post Office Box 20122
Tampa, FL 33622-0122

00000007294251001000000006854100000006000045

Please Return this portion with your payment

Invoice 68541B

PO #

Date	Description	Quantity	Amount	Tax	Total
19037	Long Lake Ranch Blvd Lutz, FL 33558-5507				
2/1/2023	Fountain Cleaning Service - Quarterly		\$600.00	\$0.00	\$600.00

Please remit payment for this month's invoice.

Please provide remittance information when submitting payments,
otherwise payments will be applied to the oldest outstanding invoices.

Credits \$0.00

Adjustment \$0.00

AMOUNT DUE

Total Account Balance including this invoice:

\$600.00

This Invoice Total:

\$600.00

To submit payment by ACH: Ameris Bank // Routing # 061201754 // Account # 2049360148

Customer Account #: 729425

Portal Registration #: 17237EC8

Corporate Address

4651 Salisbury Rd, Suite 155
Jacksonville, FL 32256

Customer Portal Link: www.lakedoctors.com/contact-us/make-a-payment/

Set Up Customer Portal to pay invoices online, set up recurring payments, view payment history, and edit contact information



LONG LAKE RANCH

Page 1 of 4

Your Monthly Invoice

Account Summary

New Charges Due Date	2/08/23
Billing Date	1/15/23
Account Number	813-406-4423-061521-5
PIN	8336
Previous Balance	195.02
Payments Received Thru 1/09/23	-195.02
Thank you for your payment!	
Balance Forward	.00
New Charges	196.25
Total Amount Due	\$196.25



RECEIVED JAN 20 2023

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frontier.com/pay



800-801-6652



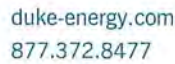
P.O. Box 211579
Eagan, MN 55121-2879

6790 0007 NO RP 15 01152023 NNNNNNNN 01 003753 0012

LONG LAKE RANCH
250 INTERNATIONAL PKWY STE 208
LAKE MARY FL 32746-5062



You are all set with Auto Pay! To review your account, go to frontier.com or MyFrontier mobile app.



Account number **9100 8435 5645**

889100843556450006600000000000000003450000000345000

**Your Monthly Invoice****Account Summary**

New Charges Due Date	3/11/23
Billing Date	2/15/23
Account Number	813-949-6028-061521-5
PIN	8323
Previous Balance	100.99
Payments Received Thru 2/08/23	-100.99
Thank you for your payment!	
Balance Forward	.00
New Charges	100.99
Total Amount Due	\$100.99



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frontier.com/resources/myfrontier-mobile-app

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signupforautopay](https://frontier.com/signupforautopay)



800-801-6652



MyFrontier app



P.O. Box 211579
Eagan, MN 55121-2879

6790 0007 NO RP 15 02152023 NNNNNNNN 01 000253 0001

LONG LAKE RANCH
19037 LONG LAKE RANCH BLVD
LUTZ FL 33558-5507



You are all set with Auto Pay! To review your account, go to frontier.com or MyFrontier mobile app.

**Your Monthly Invoice****Account Summary**

New Charges Due Date	2/08/23
Billing Date	1/15/23
Account Number	813-949-6028-061521-5
PIN	8323
Previous Balance	100.99
Payments Received Thru 1/09/23	-100.99
Thank you for your payment!	
Balance Forward	.00
New Charges	100.99
Total Amount Due	\$100.99



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signupforautopay](https://frontier.com/signupforautopay)



frontier.com/pay



800-801-6652



P.O. Box 211579
Eagan, MN 55121-2879

6790 0007 NO RP 15 01152023 NNNNNNNN 01 000251 0001

LONG LAKE RANCH
19037 LONG LAKE RANCH BLVD
LUTZ FL 33558-5507



You are all set with Auto Pay! To review your account, go to frontier.com or MyFrontier mobile app.



PASCO COUNTY UTILITIES
CUSTOMER INFORMATION & SERVICES
P.O. BOX 2139
NEW PORT RICHEY, FL 34656-2139

LAND O' LAKES
NEW PORT RICHEY
DADE CITY

(813) 235-6012
(727) 847-8131
(352) 521-4285

UtilCustServ@MyPasco.net
Pay By Phone: 1-855-786-5344



169 0 1
10-10002

LONG LAKE RANCH CDD

Service Address: **18981 LONG LAKE RANCH BOULEVARD**

Bill Number: 17839040

Billing Date: 1/25/2023

Billing Period: 12/7/2022 to 1/6/2023

New Water, Sewer, Reclaim rates, fees and charges take effect Oct. 1, 2022.

Please visit bit.ly/pcurates for additional details.

Account #	Customer #
0929280	01307800
Please use the 15-digit number below when making a payment through your bank	
092928001307800	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
				1/6/2023			

Transactions

Previous Bill	71.80
Payment 01/09/23	-71.80 CR
Balance Forward	0.00
Current Transactions	
Adjustments	
Fire Line/Hydrant Base Charge	71.80
Total Current Transactions	71.80
TOTAL BALANCE DUE	\$71.80

Visit PascoCountyUtilities.com to find answers to frequently asked questions about your Pasco County Utilities. New updates posted monthly including events, and conservation tips.

RECEIVED FEB 01 2023



Please return this portion with payment

TO PAY ONLINE, VISIT pascoeasypay.pascocountyfl.net

☐ Check this box if entering change of mailing address on back.

Account #	0929280
Customer #	01307800
Balance Forward	0.00
Current Transactions	71.80

Total Balance Due	\$71.80
Due Date	2/13/2023

10% late fee will be applied if paid after due date

The Total Due will be electronically transferred on 02/13/2023.

LONG LAKE RANCH CDD
C/O DPFG
250 INTERNATIONAL PARKWAY SUITE 280
LAKE MARY FL 32746

PASCO COUNTY UTILITIES
CUSTOMER INFORMATION & SERVICES
P.O. BOX 2139
NEW PORT RICHEY, FL 34656-2139

013078005092928041783904080000071802

RedTree Landscape Systems

5532 Auld Lane

Holiday, FL 34690

727-810-4464

service@redtreelandscape.system

s

redtreelandscapesystems.com

Invoice 12636



BILL TO

Long Lake Ranch Community
Development District
250 International Parkway,
Suite 208
Lake Mary, FL 32746 USA

DATE
01/31/2023

PLEASE PAY
\$60,000.00

DUE DATE
01/31/2023

ACTIVITY	QTY	RATE	AMOUNT
Landscape enhancement performed as follows:			
Landscape Construction Installation of Cocoa brown shredded mulch, per yard	900	55.00	49,500.00
Landscape Construction Installation of pine straw (center islands on Sun Lake), per bale	1,500	7.00	10,500.00

TOTAL DUE \$60,000.00

THANK YOU.

RedTree Landscape Systems

5532 Auld Lane

Holiday, FL 34690

727-810-4464

service@redtreelandscape.system

s

redtreelandscapesystems.com

Invoice 12625



BILL TO

Long Lake Ranch Community
Development District
250 International Parkway,
Suite 208
Lake Mary, FL 32746 USA

DATE
02/09/2023

PLEASE PAY
\$2,850.00

DUE DATE
02/09/2023

ACTIVITY	QTY	RATE	AMOUNT
Landscape enhancement performed as per approved proposal dated 10/30/22: Weather Vane Island Renovation: Buford Hollys are in heavy decline suggest replacing with Firebush.			
Landscape Construction Rip out existing declining Buford Holly. Installation (2) yard organic soil, (45) Firebush - (3) gal and (4) yards hardwood mulch. Includes all labor, materials, hauling and dump fees.	1	2,850.00	2,850.00

TOTAL DUE \$2,850.00

THANK YOU.



Invoice

Vesta Property Services, Inc.
245 Riverside Avenue
Suite 300
Jacksonville FL 32202

Invoice # 407485
Date 2/1/2023
Terms
Due Date 2/1/2023
Memo February '23 Fees

Bill To

Long Lake Ranch CDD
250 International Parkway
Suite #280
Lake Mary FL 32746

Description	Quantity	Rate	Amount
Facility Attendant	1	268.29	268.29
Facility Maintenance	1	1,599.84	1,599.84

Thank you for your business.

Total \$1,868.13



Vesta Property Services, Inc.
1020 E Brandon Blvd, Suite 207
Brandon, FL 33511

Invoice

Invoice # 407407
Date 1/1/2023

Terms
Memo December Pool Mainte...

Bill To

Long Lake Ranch CDD (CMD)
250 International Parkway
Suite 208
Lake Mary FL 32746

Description	Quantity	Rate	Amount	Serial/Lot Numbers
December Maintenance-Long Lake Ranch Amenity Center Pool	1	1,365.00	1,365.00	
December Maintenance-Foxtail Pool	1	950.00	950.00	

Total \$2,315.00



407407

COASTAL WASTE & RECYCLING - SW
 1840 NW 33RD ST
 POMPANO BEACH, FL 33064
 Clearwater Office: 727-561-0360
 Ft. Myers Office: 954-947-4000
 Orlando Office: 407-905-9200
 Sarasota Office: 941-922-3417



INVOICE

Invoice SW0000263113
Page Page 1 of 1
Date 02/01/2023
Customer 16948
Site 0
PO Number
Due Date 02/26/2023

Bill To: **LONG LAKE RANCH CDD**
250 INTERNATIONAL PKWY #280
C/O DPGF MGMT & CONSULTING
LAKE MARY, FL 32746

DATE	DESCRIPTION	REFERENCE	RATE	QTY.	AMOUNT
	(0001) LONG LAKE RANCH CDD 19037 LONG LAKE RANCH BLVD, LUTZ FL Serv #001 FEL MSW 1 - 6YD 1x Week				
01 - Feb	MONTHLY - WASTE COLLECTION (Feb 01/23 - Feb 28/23)		\$80.00	1.00	\$80.00
01 - Feb	ADMIN FEE - MONTHLY (Feb 01/23 - Feb 28/23)		\$3.95	1.00	\$3.95
01 - Feb	FUEL SURCHARGE				\$3.88
	SITE TOTAL				\$87.83

Account Status

A surcharge of 5% on initial balance plus 2% per month will be charged on accounts 30 days overdue.

INVOICE TOTAL	\$87.83
----------------------	----------------

Invoice SW0000263113
Page Page 1 of 1
Date 02/01/2023
Customer 16948
Site 0
PO Number
Due Date 02/26/2023

Please return this portion with payment to:

Coastal Waste & Recycling
 PO Box 25756
 Miami FL 33102-5756
 www.coastalwasteinc.com

AMOUNT REMITTED	
------------------------	--

0025756SW0169480000SW0000263113000000087831



PASCO COUNTY UTILITIES
CUSTOMER INFORMATION & SERVICES
P.O. BOX 2139
NEW PORT RICHEY, FL 34656-2139

LAND O' LAKES (813) 235-8012
NEW PORT RICHEY (727) 847-8131
DADE CITY (352) 521-4285

UtilCustServ@MyPasco.net
Pay By Phone: 1-855-786-5344



26 0 1
42-52316

LONG LAKE RANCH CDD

Service Address: 0 COMMUNITY CENTER

Bill Number: 17899218

Billing Date: 2/2/2023

Billing Period: 12/19/2022 to 1/18/2023

New Water, Sewer, Reclaim rates, fees and charges take effect Oct. 1, 2022.
Please visit bit.ly/pcurates for additional details.

Account #	Customer #
0928090	01307800
Please use the 15-digit number below when making a payment through your bank	
092809001307800	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Irrig Potable	13595130	12/19/2022	22246	1/18/2023	22252	30	6

Usage History

Water

January 2023
December 2022
November 2022
October 2022
September 2022
August 2022
July 2022
June 2022
May 2022
April 2022
March 2022
February 2022

Irrigation

6
28
6
4
95
195
127
186
198
131
14
6

Transactions

Previous Bill	129.35
Payment 01/23/23	-129.35 CR
Balance Forward	0.00
Current Transactions	
Water	
Water Base Charge	38.63
Water Charges	6.0 Thousand Gals X \$3.24
	19.44
Total Current Transactions	58.07
TOTAL BALANCE DUE	\$58.07

Visit PascoCountyUtilities.com to find answers to frequently asked questions about your Pasco County Utilities. New updates posted monthly including events, and conservation tips.

RECEIVED FEB 06 2023



Please return this portion with payment

TO PAY ONLINE, VISIT pascoeasypay.pascocountyfl.net

☐ Check this box if entering change of mailing address on back.

Account # 0928090
Customer # 01307800
Balance Forward 0.00
Current Transactions 58.07

Total Balance Due \$58.07
Due Date 2/21/2023

10% late fee will be applied if paid after due date

The Total Due will be electronically transferred on 02/21/2023.

LONG LAKE RANCH CDD
C/O DPFG
250 INTERNATIONAL PARKWAY SUITE 280
LAKE MARY FL 32746

PASCO COUNTY UTILITIES
CUSTOMER INFORMATION & SERVICES
P.O. BOX 2139
NEW PORT RICHEY, FL 34656-2139

013078005092809061789921810000058072



PASCO COUNTY UTILITIES
CUSTOMER INFORMATION & SERVICES
P.O. BOX 2139
NEW PORT RICHEY, FL 34656-2139

LAND O' LAKES (813) 235-6012
NEW PORT RICHEY (727) 847-8131
DADE CITY (352) 521-4285

UtilCustServ@MyPasco.net
Pay By Phone: 1-855-786-5344

1 0 1
42-52316

LONG LAKE RANCH CDD

Service Address: **18981 LONG LAKE RANCH BOULEVARD**

Bill Number: 17899258

Billing Date: 2/2/2023

Billing Period: 12/19/2022 to 1/18/2023

New Water, Sewer, Reclaim rates, fees, and charges take effect Oct. 1, 2022.
Please visit bit.ly/pcurates for additional details.

Account #	Customer #
0928725	01307800
Please use the 15-digit number below when making a payment through your bank	
092872501307800	

Service	Meter #	Previous		Current		# of Days	Consumption in thousands
		Date	Read	Date	Read		
Water	13595133	12/19/2022	316	1/18/2023	318	30	2

Usage History

Water

January 2023	2
December 2022	3
November 2022	2
October 2022	2
September 2022	4
August 2022	2
July 2022	4
June 2022	3
May 2022	3
April 2022	2
March 2022	8
February 2022	3

Transactions

Previous Bill	157.27
Payment 01/23/23	-157.27 CR
Past Due	0.00
Current Transactions	
Water	
Water Base Charge	38.63
Water Tier 1	2.0 Thousand Gals X \$2.04 4.08
Sewer	
Sewer Base Charge	93.08
Sewer Charges	2.0 Thousand Gals X \$6.48 12.96
Total Current Transactions	148.75
TOTAL BALANCE DUE	\$148.75

*Past due balance is delinquent and subject to further fees and immediate disconnect.

Visit PascoCountyUtilities.com to find answers to frequently asked questions about your Pasco County Utilities. New updates posted monthly including events, and conservation tips.

Please return this portion with payment

TO PAY ONLINE, VISIT pascoeasypay.pascocountyfl.net

☐ Check this box if entering change of mailing address on back.

Account # 0928725
Customer # 01307800
Past Due 0.00
Current Transactions 148.75

Total Balance Due \$148.75
Due Date 2/21/2023

10% late fee will be applied if paid after due date

The Total Due will be electronically transferred on 02/21/2023.

LONG LAKE RANCH CDD
C/O DPGF
250 INTERNATIONAL PARKWAY SUITE 280
LAKE MARY FL 32746

PASCO COUNTY UTILITIES
CUSTOMER INFORMATION & SERVICES
P.O. BOX 2139
NEW PORT RICHEY, FL 34656-2139



Business Observer

1970 Main Street
3rd Floor
Sarasota, FL 34236
, 941-906-9386 x322

INVOICE

Legal Advertising

Invoice # 23-00243P

Date 02/17/2023

Attn:
Long Lake Ranch CDD DPFG
250 INTERNATIONAL PKWY, STE. 208
LAKE MARY FL 32746

Please make checks payable to:
(Please note Invoice # on check)
Business Observer
1970 Main Street
3rd Floor
Sarasota, FL 34236

Description

Amount

Serial # 23-00243P
P.O./Ref.# 00082490.DOCX/

\$67.81

Public Board Meetings

RE: Board of Supervisors meeting on March 2, 2023 at 6:00 pm
Published: 2/17/2023

Important Message

Please include our Serial #
on your check

Pay by credit card online:
[https://legals.
businessobserverfl.
com/send-payment/](https://legals.businessobserverfl.com/send-payment/)

Paid

()

Total

\$67.81

Payment is expected within 30 days of the
first publication date of your notice.

Attention: If you are a government agency and you believe that you qualify for a 15% discount to the second insertion of your notice per F.S. revision 50.061, please inform Kristen Boothroyd directly at 941-906-9386 x323.

NOTICE

The Business Observer makes every effort to ensure that its public notice advertising is accurate and in full compliance with all applicable statutes and ordinances and that its information is correct. Nevertheless, we ask that our advertisers scrutinize published ads carefully and alert us immediately to any errors so that we may correct them as soon as possible. We cannot accept responsibility for mistakes beyond bearing the cost of republishing advertisements that contain errors.



250 International Parkway, Suite 280

Lake Mary, FL 32746

TEL: 321-263-0132

Bill To

DPFG, LLC
Long Lake Ranch Community Development District
250 International Parkway
Suite #280
Lake Mary FL 32746

Invoice

Date 2/1/2023

Invoice # 407591

In Reference To:

Monthly contracted management fess, as follows:

PLEASE REMIT PAYMENT TO CORPORATE HEADQUARTERS:
DPFG M&C
c/o Vesta Property Services, Inc.
245 Riverside Avenue, Suite 300
Jacksonville, FL 32202

Description	Quantity	Rate	Amount
District Management Services	1		1,666.67
Accounting Services	1		916.66
Administration Services	1		916.66
Assessment Preparation	1		416.67
Field Operation Services	1		420.92
Total			\$4,337.58



www.ghsenvironmental.com
P.O. Box 55802
St Petersburg, FL 33732

Invoice

Date: 2/13/2023
Invoice #: 2023-113

To:

Long Lake Ranch CDD
DPFG Management & Consulting LLC
250 International Parkway, Suite 208
Lake Mary, FL 32773

Project: LLR Aquatic Maintenance
Proposal #: 21-213
P.O. #:

Due Date	Service Date:
3/15/2023	January 2023

Task #	Description	Project Compl...	Amount
Task 1	Aquatic Maintenance Program	91.67%	2,460.00

PAYMENT DUE WITHIN 30 DAYS OF INVOICING DATE	Total	\$2,460.00
Please make all checks payable to GHS Environmental There will be a 10% charge per month on any payments received after the initial 30 days. If you have any questions concerning this invoice please contact us at 727-667-6786. THANK YOU FOR YOUR BUSINESS!	Payments/Credits	\$0.00
	Balance Due	\$2,460.00



Invoice

Invoice # 407408
Date 1/31/2023

Terms
Memo Monthly Pool Maintena...

Vesta Property Services, Inc.
1020 E Brandon Blvd, Suite 207
Brandon, FL 33511

Bill To
Long Lake Ranch CDD (CMD)
250 International Parkway
Suite 208
Lake Mary FL 32746

Description	Quantity	Rate	Amount	Serial/Lot Numbers
Monthly Maintenance-Long Lake Ranch Amenity Center Pool	1	1,365.00	1,365.00	
Monthly Maintenance-Foxtail Pool	1	950.00	950.00	

Total \$2,315.00



407408



Invoice

Invoice # 407409
Date 2/7/2023

Vesta Property Services, Inc.
1020 E Brandon Blvd, Suite 207
Brandon, FL 33511

Terms
Memo Monthly Pool Maintena...

Bill To

Long Lake Ranch CDD (CMD)
250 International Parkway
Suite 208
Lake Mary FL 32746

Description	Quantity	Rate	Amount	Serial/Lot Numbers
Monthly Maintenance-Long Lake Ranch Amenity Center Pool	1	1,365.00	1,365.00	
Monthly Maintenance-Foxtail Pool	1	950.00	950.00	

Total \$2,315.00



407409



HomeTeam Pest Defense, Inc.
4710 Eisenhower Boulevard
Suite F-3
Tampa, FL 33634-6337
813-886-4700

Invoice and detailed service report

INVOICE #: 90454983

WORK DATE: 02/23/2023

BILL-TO 3276011

DPFG Management & Consulting
Calvin Jones
250 International Pkwy
Suite 280
Lake Mary, FL 32746-5030

Phone: 813-406-4423

LOCATION 3276011

Long Lake Ranch / Bill Pellan
Calvin Jones
19037 Long Lake Ranch Blvd
Lutz, FL 33558-5507

Phone: 813-406-4423

Alt. Phone: 303-888-1052 xBill

Time In: 2/23/2023 10:11:00 AM

Time Out: 2/23/2023 11:12:44 AM

Customer Signature

Customer Unavailable to Sign

Technician Signature

Branden Dearth

License #:

Purchase Order	Terms	Service Description	Quantity	Unit Price	Amount
None	DUE UPON RECEIPT	HOA Conventional Pest Control Service	1.00	300.00	300.00
Subtotal					300.00
Tax					0.00
Total					300.00
Total Due:					300.00

Today's Service Comments

Hi Mr/Ms,

Today's 6-Point Advantage Service:

1. Inspected the exterior of your home to identify potential pest problems
2. Removed and treated cobwebs and wasps nests within reach
3. Provided conventional pest control applications
4. Treated pest entry points around doors and windows
5. Applied pest control materials around the outside perimeter of your business.
6. Provided this detailed service report.

Today's Service Comments:

Today I found and treated for ants in the mulch beds. This will aid in suppressing insect activity until your next service. If you have any pest issues or concerns do not hesitate to call the office at (813)886-4700. Please allow a week for our products to work. Thank you for your trust, Branden.

Curbside Call was completed, no. Mr was home.

Thank you for choosing HomeTeam Pest Defense as your service provider.

Your next scheduled service month will be in May.

PRODUCTS APPLICATION SUMMARY

Material	Lot #	EPA #	A.I. %	A.I. Conc.	Active Ingredient	Finished Qty	Undiluted Qty
Intice 10		73079-6	10.0000%	n/a	Orthoboric Acid 10%	4.0000 Pound	4.0000 Pound
Areas Applied: Exterior perimeter							
Target Pests: Roaches							
Material	Lot #	EPA #	A.I. %	A.I. Conc.	Active Ingredient	Finished Qty	Undiluted Qty
Scion Insecticide		29-3612	5.9000%	0.0150	Gamma-cyhalothrin: Cyclopropanecarboxylic acid, 3-(2-chloro-3,3,3- trifluoro-1-propenyl)- 2,2- dimethyl,cyano(3- phenoxyphenyl) methyl ester	24.0000 Ounce	

Thank you for choosing HomeTeam Pest Defense. Pay online at www.pestdefense.com

Johnson Engineering, Inc.

Remit To:

P.O. Box 2112

Fort Myers, FL 33902

Ph: 239.334.0046

Project Manager Philip Chang

Tish Dobson
Long Lake Ranch CDD
c/o DPFPG
250 International Pkwy, Suite 208
Lake Mary, FL 32746

Invoice

February 17, 2023

Project No: 20192175-000

Invoice No: 38

FEID #59-1173834

Project 20192175-000 Long Lake Ranch Community Development District Professional Engineering Services

Professional Services through February 5, 2023

Phase 01 General Engineering Services

Professional Personnel

		Hours	Rate	Amount	
Professional 6					
Chang, Philip	1/13/2023	.25	170.00	42.50	
Research/coordination with Pasco Traffic Operations regarding Sunlake streetlight transfer					
Chang, Philip	1/26/2023	.75	170.00	127.50	
Correspondence with County regarding status of Sunlake lights & info request related to turnover of Foxtail roads					
correspondence with Duke Energy regarding Sunlake lights;					
Chang, Philip	1/27/2023	1.50	170.00	255.00	
Coordination/communication with Duke Energy regarding Sunlake street lighting; Communication with County regarding Foxtail roads;					
Chang, Philip	1/31/2023	.25	170.00	42.50	
Review completion letters from DM in support of Foxtail road turnover effort;					
Chang, Philip	2/1/2023	.50	170.00	85.00	
Review completion and other records from DM related to Foxtail roads turnover efforts					
Totals		3.25		552.50	
Total Labor					552.50
Total this Phase					\$552.50
Total this Invoice					\$552.50

KUTAK ROCK LLP

TALLAHASSEE, FLORIDA

Telephone 404-222-4600

Facsimile 404-222-4654

Federal ID 47-0597598

February 20, 2023

Check Remit To:

Kutak Rock LLP

PO Box 30057

Omaha, NE 68103-1157

Wire Transfer Remit To:

ABA #104000016

First National Bank of Omaha

Kutak Rock LLP

A/C # 24690470

Reference: Invoice No. 3182041

Client Matter No. 12123-2

Mr. Howard McGaffney
Long Lake Ranch CDD
DPFG Management and Consulting LLC
Suite 208
250 International Parkway
Lake Mary, FL 32746

Invoice No. 3182041
12123-2

Re: Monthly Meetings

For Professional Legal Services Rendered

01/02/23	S. Sandy	Review draft minutes and agenda; prepare for board meeting
01/04/23	S. Sandy	Prepare for board meeting
01/05/23	S. Sandy	Prepare for and attend meeting; conduct follow-up regarding same
01/20/23	D. Wilbourn	Prepare new supervisor guide
01/24/23	S. Sandy	Review draft agenda and minutes

TOTAL FOR SERVICES RENDERED \$2,000.00

TOTAL CURRENT AMOUNT DUE \$2,000.00

KUTAK ROCK LLP**TALLAHASSEE, FLORIDA**

Telephone 404-222-4600

Facsimile 404-222-4654

Federal ID 47-0597598

February 20, 2023

Check Remit To:

Kutak Rock LLP

PO Box 30057

Omaha, NE 68103-1157

Wire Transfer Remit To:

ABA #104000016

First National Bank of Omaha

Kutak Rock LLP

A/C # 24690470

Reference: Invoice No. 3182040

Client Matter No. 12123-1

Mr. Howard McGaffney
Long Lake Ranch CDD
DPFG Management and Consulting LLC
Suite 208
250 International Parkway
Lake Mary, FL 32746

Invoice No. 3182040
12123-1

Re: General Counsel

For Professional Legal Services Rendered

01/05/23	S. Sandy	0.30	82.50	Confer with Dobson regarding holiday lighting contract
01/06/23	S. Sandy	0.10	27.50	Confer regarding street light turnover
01/06/23	D. Wilbourn	0.50	77.50	Prepare defect letter for lighting services agreement
01/07/23	W. Haber	0.30	115.50	Monitor 2023 legislative session for legislation pertaining to or affecting District
01/07/23	K. Magee	0.30	78.00	Prepare memorandum regarding statutory notice requirements
01/27/23	S. Sandy	0.10	27.50	Confer with Chang regarding Foxtail roads
01/31/23	S. Sandy	2.40	660.00	Prepare letter regarding defective work to Florida Field Services; confer with Dobson regarding same; confer with Chang and Dobson regarding Foxtail right of ways
01/31/23	D. Wilbourn	0.20	31.00	Prepare holiday lighting defect letter

KUTAK ROCK LLP

Long Lake Ranch CDD
February 20, 2023
Client Matter No. 12123-1
Invoice No. 3182040
Page 2

TOTAL HOURS 4.20

TOTAL FOR SERVICES RENDERED \$1,099.50

DISBURSEMENTS

Freight and Postage 16.54

TOTAL DISBURSEMENTS 16.54

TOTAL CURRENT AMOUNT DUE \$1,116.04

Invoice

2302-2122-7014

2023-02-21

Fencing Life LLC
Weeki Wachee FL 34613
fencinglifellc@gmail.com
352-587-3627

Doug Ruhlig
19037 Long Lake Ranch Blvd
Lutz FL 33558
manager@longlakeranchclub.com
(813) 729-1581

Doug Ruhlig
19037 Long Lake Ranch Blvd, Lutz, FL, 33558

<i>Description</i>	<i>Unit Price</i>	<i>Quantity</i>	<i>Total</i>
<u>5'X6' INDUSTRIAL 3 RAIL SB GATE</u>	\$455.00	1.00	\$455.00
<u>3"X8' BLK END POST</u>	\$81.23	4.00	\$324.92
<u>6'X6' BLK INDUSTRIAL 3 RAIL EMILY SB PANEL</u>	\$191.21	1.00	\$191.21
<u>CORE DRILL RENT</u>	\$150.00	1.00	\$150.00
<u>QUIKRETE</u>	\$21.00	1.00	\$21.00
<u>3" BLK POST CAP</u>	\$2.75	4.00	\$11.00
<u>LABOR</u>	\$1,964.00	1.00	\$1,964.00
LABOR IS NOT TAXED			

Total \$3,117.13

Due upon completion. Overdue invoices are subject to late fees. A reminder notice will be sent everyday past invoice date. With a letter sent at 30 days if not paid.

Acceptable forms of payment: Cash, Check, Money Order, Cashiers Check, Cash App(2% Fee), PayPal(2% Fee), and Credit Card(4% fee when paying with card).

Invoicing & Payment. Fencing Life LLC shall invoice Client upon completion of the Work. Client shall pay invoice at completion of job. Client shall also pay to Fencing Life LLC a late fee of 2% per day on all balances until paid in full. If client fails to pay on time and Fencing Life LLC refers your account(s) to a third party for collection, Fencing Life LLC will charge all costs associated with the non-payment, including but not limited to, accumulated late fees, return check fees (\$30.00), insufficient funds fees, collection agency fees, and court and attorney costs. Fencing Life LLC will try in every attempt to collect in house, but if all attempts are failed Fencing Life LLC will refer account to a third party

GPS POOLS INC.

23022 State Rd 54

Lutz, FL 33549

813-948-9091

Invoice

Date	Invoice #
1/19/2023	CR MAIN

Bill To
Long Lake Ranch 19037 Long Lake Ranch Lutz 33558 813-406-4423

P.O. No.	Terms	Project

Item	Description	Est Amt	Prior Amt	Prior %	Qty	Rate	Curr %	Total %	Amount
18 X 18 ...	18X18 WHITE SUCTION COVER AND FRAME	439.99				439.99	100.00%	100.00%	439.99
INSTAL...	INSTALL LABOR	250.00				250.00	100.00%	100.00%	250.00
	MUST GET IN WET SUIT AND DIVE POOL								
	TAX EXEMPT 85-8016138207C-7								

						Subtotal	\$689.99
						Sales Tax (7.0%)	\$0.00
						Total	\$689.99
						Payments/Credits	\$0.00
						Balance Due	\$689.99

EXHIBIT 9



Egis Insurance & Risk Advisors

Is pleased to provide a

Proposal of Insurance Coverage for:

Workers Compensation

Long Lake Ranch Community Development District

Please review the proposed insurance coverage terms and conditions carefully.

Written request to bind must be received prior to the effective date of coverage.

The brief description of coverage contained in this document is being provided as an accommodation only and is not intended to cover or describe all Coverage Agreement terms. For more complete and detailed information relating to the scope and limits of coverage, please refer directly to the Coverage Agreement documents. Specimen forms are available upon request.

Quotation being provided for:

Long Lake Ranch Community Development District
19037 Long Lake Ranch Blvd
Land O' Lakes, FL 34638

Term: March 16, 2023 to October 1, 2023
Coverage Provided by: Florida Insurance Alliance
Quote Number: WC100122769

TYPE OF INSURANCE

Part A	Workers Compensation <ul style="list-style-type: none">• Benefits: FL Statutory (Medical, Disability, Death)
Part B	<u>Employers Liability:</u> <ul style="list-style-type: none">• \$1,000,000- Each Accident• \$1,000,000- Disease- Policy Limit• \$1,000,000- Disease- Each Employee

Class Code	Description	Payroll	Rate	Premium
9015	Building or Property Management - All Other Employees	\$3,000	3.30	\$99.00
Total Manual Premium				\$99.00
Increased ELL 1M/1M/1M				\$120.00
				\$219.00
Workplace Safety Credit – 2%				\$0.00
Drug Free Workplace Credit – 5%				\$0.00
Experience Modification				1.000000
Standard Premium				\$219.00
Expense Constant				\$160.00
Terrorism				\$0.30
Policy Total				\$465.00

Additional terms and conditions, including but not limited to:

1. Please review the quote carefully, as coverage terms and conditions may not encompass all requested coverages.
2. The Coverage Agreement premium shall be pro-rated as of the first day of coverage from the minimum policy premium.
3. Down payment is due at inception.
4. The Trust requires that the Member maintains valid and current certificates of workers' compensation insurance on all work performed by persons other than its employees.
5. If NCCI re-promulgates a mod, we will honor the mod as promulgated. If the mod changes during the fund year, we reserve the right to apply a correct mod back to the inception date of the Coverage Agreement.
6. Safety and Drug Free program credits (if applicable) are subject to program requirements.
7. Payrolls are subject to final audit.
8. Deletion of any coverage presented, Package and/or Workers' Compensation, will result in re-pricing of account.

PRODUCER	PHONE (A/C, No, Ext): (321) 233-9939 FAX (A/C, No):	COMPANY FIA WC	UNDERWRITER
Egis Insurance & Risk Advisors 250 International Parkway Suite 260 Lake Mary FL 32746		APPLICANT NAME - INCLUDE ALL SUBSIDIARIES & DBA'S TO BE INCLUDED IN COVERAGE, ALONG WITH THEIR FEIN Long Lake Ranch Community Development	
		MAILING ADDRESS (INCLUDING ZIP CODE) - INCLUDE PRINCIPAL PHYSICAL LOCATION AND ALL INSURED ENTITIES c/o DPGF Management and Consulting LLC 250 International Parkway, Ste 280 Lake Mary FL 32746	
LICENSE #:	YRS IN BUS	SIC CODE	INDIVIDUAL CORPORATION OTHER:
CODE:	SUB CODE:	PARTNERSHIP	SUBCHAPTER "S" CORP
AGENCY CUSTOMER ID 00000673	FEDERAL EMPLOYER ID NUMBER 462308659	NCCI ID NUMBER	OTHER RATING BUREAU ID NUMBER

STATUS OF SUBMISSION

BILLING / AUDIT INFORMATION

<input checked="" type="checkbox"/> QUOTE	<input type="checkbox"/> ISSUE POLICY	BILLING PLAN	PAYMENT PLAN	AUDIT
		<input checked="" type="checkbox"/> AGENCY BILL	<input type="checkbox"/> ANNUAL	<input type="checkbox"/> AT EXPIRATION
		<input type="checkbox"/> DIRECT BILL	<input type="checkbox"/> SEMI-ANNUAL	<input type="checkbox"/> MONTHLY
			<input type="checkbox"/> OTHER:	<input type="checkbox"/> OTHER:
			QUARTERLY	QUARTERLY

LOCATIONS - LIST ALL PHYSICAL LOCATIONS, INCLUDING OTHER STATES, WHETHER COVERAGE IS REQUESTED OR NOT. IF APPLICANT IS A PROFESSIONAL EMPLOYER ORGANIZATION (PEO) / EMPLOYEE LEASING COMPANY, LIST ALL CLIENT COMPANIES AND THEIR LOCATIONS

#	STREET, CITY, COUNTY, STATE, ZIP CODE
1	19037 Long Lake Ranch Blvd Lamd O' Lakes FL 34638

POLICY INFORMATION

PROPOSED EFF DATE 03/16/2023	PROPOSED EXP DATE 10/01/2023	NORMAL ANNIVERSARY RATING DATE	PARTICIPATING NON-PARTICIPATING	RETRO PLAN
PART 1 - WORKERS COMPENSATION (States) FL	PART 2 - EMPLOYER'S LIABILITY \$ 1,000,000 EACH ACCIDENT \$ 1,000,000 DISEASE - POLICY LIMIT \$ 1,000,000 DISEASE - EACH EMPLOYEE	PART 3 - OTHER STATES INS	DEDUCTIBLE COINSURANCE LIMIT	OTHER COVERAGES U.S.L. & H. VOLUNTARY COMPENSATION <input checked="" type="checkbox"/> Terrorism Per Capita
DIVIDEND PLAN / SAFETY GROUP	ADDITIONAL COMPANY INFORMATION			

RATING INFORMATION

CHECK HERE IF LIST OF ADDITIONAL CLASS CODES ATTACHED

LOC	CLASS CODE	COMPANY USE	CATEGORIES, DUTIES, CLASSIFICATIONS	# OF EM- PLOYEES	ACTUAL REMUNERATION PAST 12 MONTHS	ESTIMATED REMUNERATION FOR NEXT POLICY PERIOD	RATE	ESTIMATED ANNUAL PREMIUM
1	9015		Building or Property Mgmt - All Other Employees	1		3,000	3.30000	\$99.00

SPECIFY ADDITIONAL COVERAGES / ENDORSEMENTS

	FACTOR	FACTORED PREMIUM
TOTAL		\$ 184.70
Terrorism Per Capita	0.00000	\$ 0.30
		\$
EXPERIENCE MODIFICATION	1.00000	\$
MODIFIED PREMIUM		\$
PREMIUM DISCOUNT		\$
EXPENSE CONSTANT	N/A	\$ 160.00
		\$
TOTAL ESTIMATED ANNUAL PREMIUM		\$ 465.00
MINIMUM PREMIUM		\$
\$	DEPOSIT PREMIUM	\$

INDIVIDUALS INCLUDED / EXCLUDED

PARTNERS, OFFICERS, OWNERS TO BE INCLUDED OR EXCLUDED. (REMUNERATION TO BE INCLUDED MUST BE PART OF RATING INFORMATION SECTION.) ATTACH LIST OF ADDITIONS/EXEMPTIONS, IF ANY. PROVIDE COPIES OF EVIDENCE OF EXCLUSIONS/INCLUSIONS. DISCLOSURES OF THE SOCIAL SECURITY NUMBERS IS VOLUNTARY. AS AN ALTERNATIVE, ATTACH A COPY OF EXEMPTION OR INCLUSION FORM FILED WITH THE STATE OF FLORIDA.

#	NAME	DATE OF BIRTH	SOCIAL SECURITY #	TITLE / RELATIONSHIP	OWNR- SHP %	DUTIES	INC / EXC	CLASS CODE	REMUNERATION
1									
2									
3									

PRIOR CARRIER INFORMATION / LOSS HISTORY

PROVIDE INFORMATION FOR THE PAST 5 YEARS AND USE THE REMARKS SECTION FOR LOSS DETAILS							LOSS RUN ATTACHED		
YEAR	CARRIER & POLICY NUMBER	ACTUAL/AUDITED PREMIUM	MOD	# CLAIMS	AMOUNT PAID	RESERVE			
	CO:								
	POL #:								
	CO:								
	POL #:								
	CO:								
	POL #:								
	CO:								
	POL #:								
	CO:								
	POL #:								
	CO:								
	POL #:								

NATURE OF BUSINESS / DESCRIPTION OF OPERATIONS

GIVE COMMENTS AND DESCRIPTIONS OF ALL BUSINESSES, OPERATIONS AND PRODUCTS (INCLUDING OTHER STATES): MANUFACTURING - RAW MATERIALS, PROCESSES, PRODUCT, EQUIPMENT; CONTRACTOR - TYPE OF WORK, SUB-CONTRACTS; MERCANTILE - MERCHANDISE, CUSTOMERS, DELIVERIES; SERVICE - TYPE, LOCATION; FARM - ACREAGE, ANIMALS, MACHINERY, SUB-CONTRACTS. IF CONTRACTOR, PROVIDE LICENSE NUMBER.

☐ PROFESSIONAL EMPLOYER ORGANIZATION (PEO) / EMPLOYEE LEASING COMPANY ☐ TEMPORARY EMPLOYMENT SERVICE

EMPLOYEES - ATTACH A LIST OF ADDITIONAL EMPLOYEE NAMES

NAME	CLASS CODE	SOCIAL SECURITY #	NAME	CLASS CODE	SOCIAL SECURITY #

ATTACH THE LAST FOUR (4) EMPLOYERS QUARTERLY REPORTS OR IRS FORM 941. PLEASE EXPLAIN IF THE EMPLOYERS QUARTERLY REPORTS OR 941 IS NOT AVAILABLE. DISCLOSURE OF THE SOCIAL SECURITY NUMBERS IS VOLUNTARY. AS AN ALTERNATIVE, THE LATEST EMPLOYERS QUARTERLY REPORT WITH CLASS CODES ADDED CAN BE USED IN LIEU OF A SEPARATE LISTING OF EMPLOYEE NAMES, SOCIAL SECURITY NUMBER AND CLASS CODE. ANY EMPLOYEES NOT ON THE EMPLOYERS QUARTERLY REPORT SHOULD BE SHOWN SEPARATELY.

GENERAL INFORMATION

EXPLAIN ALL "YES" RESPONSES	YES	NO	EXPLAIN ALL "YES" RESPONSES	YES	NO
1. DOES APPLICANT OWN, OPERATE OR LEASE AIRCRAFT / WATERCRAFT?		<input checked="" type="checkbox"/>	16. ARE PHYSICALS REQUIRED AFTER OFFERS OF EMPLOYMENT ARE MADE?		<input checked="" type="checkbox"/>
2. DO / HAVE PAST, PRESENT OR DISCONTINUED OPERATIONS INVOLVE(D) STORING, TREATING, DISCHARGING, APPLYING, DISPOSING, OR TRANSPORTING OF HAZARDOUS MATERIAL? (e.g. landfills, wastes, fuel tanks, etc)		<input checked="" type="checkbox"/>	17. ANY OTHER INSURANCE WITH THIS INSURER?	<input checked="" type="checkbox"/>	
			18. ANY PRIOR COVERAGE DECLINED / CANCELLED / NON-RENEWED (Last 3 years)?		<input checked="" type="checkbox"/>
3. ANY WORK PERFORMED UNDERGROUND OR ABOVE 15 FEET?		<input checked="" type="checkbox"/>	19. ARE EMPLOYEE HEALTH PLANS PROVIDED?		<input checked="" type="checkbox"/>
4. ANY WORK PERFORMED ON BARGES, VESSELS, DOCKS, BRIDGE OVER WATER?		<input checked="" type="checkbox"/>	20. IS THERE A LABOR INTERCHANGE WITH ANY OTHER BUSINESS / SUBSIDIARY?		<input checked="" type="checkbox"/>
5. IS APPLICANT ENGAGED IN ANY OTHER TYPE OF BUSINESS?		<input checked="" type="checkbox"/>	21. DO YOU LEASE EMPLOYEES TO OR FROM OTHER EMPLOYERS?		<input checked="" type="checkbox"/>
6. ARE SUB-CONTRACTORS AND/OR INDEPENDENT CONTRACTORS USED?		<input checked="" type="checkbox"/>	22. DO ANY EMPLOYEES PREDOMINANTLY WORK AT HOME?		<input checked="" type="checkbox"/>
7. ANY WORK SUBLET WITHOUT CERTIFICATES OF INS.?		<input checked="" type="checkbox"/>	23. WHAT ARE YOUR ESTIMATED ANNUAL REVENUES? \$		
8. IS A FORMAL SAFETY PROGRAM IN OPERATION?		<input checked="" type="checkbox"/>	24. IS THERE ANY CURRENT OR ANTICIPATED DEBT FOR UNPAID PREMIUMS OWED TO ANY PREVIOUS WORKERS' COMPENSATION PROVIDER?		
9. ANY GROUP TRANSPORTATION PROVIDED?		<input checked="" type="checkbox"/>	CONTACT INFORMATION		
10. ANY EMPLOYEES UNDER 16 OR OVER 60 YEARS OF AGE?		<input checked="" type="checkbox"/>	IN- SPECTION	PHONE:	
11. ANY PART TIME OR SEASONAL EMPLOYEES?		<input checked="" type="checkbox"/>		NAME:	
12. IS THERE ANY VOLUNTEER OR DONATED LABOR?	<input checked="" type="checkbox"/>		ACCTNG RECORD	PHONE: (321)263-0132	
13. ANY EMPLOYEES WITH PHYSICAL HANDICAPS?		<input checked="" type="checkbox"/>		NAME: Tish Dobson	
14. DO EMPLOYEES TRAVEL OUT OF STATE?		<input checked="" type="checkbox"/>	CLAIMS INFO	PHONE: (321)263-0132	
15. ARE ATHLETIC TEAMS SPONSORED?		<input checked="" type="checkbox"/>		NAME: Tish Dobson	
REMARKS					

<p>THE FILING OF AN APPLICATION CONTAINING FALSE, MISLEADING, OR INCOMPLETE INFORMATION PROVIDED WITH THE PURPOSE OF AVOIDING OR REDUCING THE AMOUNT OF PREMIUMS FOR WORKERS' COMPENSATION COVERAGE IS A FELONY OF THE THIRD DEGREE, PUNISHABLE AS PROVIDED IN S. 775.082, S. 775.083, OR S. 775.084.</p>			
<p>I UNDERSTAND THAT AS THE EMPLOYER, I MUST UPDATE THE APPLICATION MONTHLY TO REFLECT ANY CHANGE IN THE REQUIRED APPLICATION INFORMATION; (THE FLORIDA WORKERS COMPENSATION CHANGE SHEET WILL BE USED FOR THIS PURPOSE.)</p> <p>IF I FILE AN APPLICATION OR APPLICATION UPDATE CONTAINING FALSE, MISLEADING, OR INCOMPLETE INFORMATION WITH THE PURPOSE OF AVOIDING OR REDUCING THE AMOUNT OF PREMIUMS FOR WORKERS COMPENSATION COVERAGE IT IS A FELONY OF THE THIRD DEGREE OR AS OTHERWISE PUNISHABLE AS PROVIDED UNDER THE LAW.</p> <p>I SHALL SUBMIT TO THE CARRIER, A COPY OF THE EMPLOYERS QUARTERLY REPORT AND SELF-AUDITS SUPPORTED BY THE EMPLOYERS QUARTERLY REPORT, AS REQUIRED BY CHAPTER 443, AT THE END OF EACH QUARTER. IF I OMIT THE NAME OF AN EMPLOYEE FROM THIS EMPLOYERS QUARTERLY REPORT, FLORIDA STATUTES STATE THAT I WILL REMAIN LIABLE AND WILL REIMBURSE THE CARRIER FOR ANY WORKERS COMPENSATION BENEFITS PAID TO THIS OMITTED EMPLOYEE;</p> <p>I AGREE TO MAKE AVAILABLE, ALL RECORDS NECESSARY FOR THE PAYROLL VERIFICATION AUDIT AND PERMIT THE AUDITOR TO MAKE A PHYSICAL INSPECTION OF OUR OPERATIONS. I UNDERSTAND FAILURE TO DO THIS SHALL RESULT IN A \$500 PAYMENT TO THE CARRIER TO DEFRAY THE COST OF THE AUDITS;</p> <p>THAT, IN ACCORDANCE WITH FLORIDA STATUTES 440.381(6), IF I (WE) UNDERSTATE OR CONCEAL PAYROLL, OR MISREPRESENT OR CONCEAL EMPLOYEE DUTIES SO AS TO AVOID PROPER CLASSIFICATION FOR PREMIUM CALCULATIONS, OR MISREPRESENT OR CONCEAL INFORMATION PERTINENT TO THE COMPUTATION AND APPLICATION OF AN EXPERIENCE RATING MODIFICATION FACTOR, I (WE) SHALL PAY A PENALTY OF TEN (10) TIMES THE AMOUNT OF THE DIFFERENCE IN PREMIUM PAID AND THE AMOUNT I (WE) SHOULD HAVE PAID, AND REASONABLE ATTORNEY'S FEES.</p>			
<p>FORMER NAMES AND OWNERS</p> <p>FOR THE LAST 5 YEARS, LIST THE CURRENT BUSINESS NAME AND ANY FORMER NAMES OR PREDECESSOR COMPANIES FOR ALL COMPANIES TO BE COVERED BY THE POLICY. INCLUDE THE FEIN FOR EACH COMPANY.</p> <p>FOR EACH COVERED COMPANY, LIST ANY CURRENT OWNER WHO HAS MORE THAN 5% OWNERSHIP INTEREST. FOR EACH COVERED COMPANY OR PREDECESSOR COMPANY, LIST ANY OWNER WHO HAD MORE THAN 5% OWNERSHIP INTEREST IN THE LAST 5 YEARS.</p>			
<p>OWNERSHIP / COMBINABILITY</p> <p>DOES THIS BUSINESS OR ANY OF THE OWNERS OF THIS BUSINESS, EITHER INDIVIDUALLY OR IN COMBINATION WITH OTHER OWNERS OF THIS BUSINESS, OWN MORE THAN 50% OF ANY OTHER BUSINESS, WHICH OPERATED AT ANY TIME DURING THE FIVE YEARS PRIOR TO THIS APPLICATION?</p> <p style="text-align: right;"><input type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>OR, DOES THIS BUSINESS OWN A MAJORITY INTEREST IN ANOTHER ENTITY, WHICH IN TURN OWNS A MAJORITY INTEREST IN ANY ENTITY THAT OPERATED AT ANY TIME IN THE FIVE YEARS PRIOR TO THIS APPLICATION?</p> <p style="text-align: right;"><input type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>IF THE ANSWER TO EITHER OF THE ABOVE QUESTIONS IS YES, COMPLETE THE FOLLOWING SUPPLEMENTAL OWNERSHIP / COMBINABILITY QUESTIONS:</p> <ol style="list-style-type: none"> 1. IDENTIFY BY NAME, ADDRESS, AND FEIN EACH BUSINESS WHICH IS RELATED BY COMMON OWNERSHIP TO THE APPLICANT BUSINESS. 2. SET FORTH THE DATES EACH BUSINESS WAS IN OPERATION, THE INSURANCE COMPANY THAT PROVIDED WORKERS' COMPENSATION INSURANCE, THE POLICY NUMBER AND THE EXPERIENCE MODIFICATION FACTOR APPLIED TO EACH SUCH POLICY. 3. IF THE POLICY WAS WRITTEN WITHOUT AN EXPERIENCE MODIFICATION FACTOR, PLEASE STATE. 			
<p>THE APPLICANT HEREBY AUTHORIZES AND REQUESTS EACH RATING ORGANIZATION WITH EXPERIENCE RATING INFORMATION RELATED TO THE APPLICANT AND THE BUSINESS SET FORTH ABOVE TO RELEASE SUCH INFORMATION TO THE INSURER, FWCJUA, OR OTHER RATING ORGANIZATION SO THAT THE CORRECT EXPERIENCE MODIFICATION FACTOR CAN BE DETERMINED.</p>			
<p>I HEREBY ACKNOWLEDGE THAT I HAVE READ THE ABOVE STATEMENTS AND PERSONALLY SWEAR THAT THE INFORMATION CONTAINED IN THE APPLICATION IS ACCURATE. THAT I, AS AN OWNER / OFFICER, AM FULLY AUTHORIZED TO SIGN THIS APPLICATION ON BEHALF OF THE APPLICANT AND TO BIND THE APPLICATION.</p>		<p>AS AGENT / PRODUCER I HEREBY ATTEST THAT I HAVE GIVEN THE APPLICANT/SIGNATORY THE OPPORTUNITY TO READ THE APPLICATION AND I HAVE EXPLAINED ANY AND ALL QUESTIONS REGARDING THE APPLICATION. I ALSO ATTEST THAT I HAVE EXPLAINED TO THE EMPLOYER OR OFFICER THE CLASSIFICATION CODES THAT ARE USED FOR PREMIUM CALCULATIONS PURSUANT TO SECTION 440.381 (2), FLORIDA STATUTES.</p>	
<p>UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING DOCUMENT AND THAT THE FACTS STATED IN IT ARE TRUE.</p>		<p>UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING DOCUMENT AND THAT THE FACTS STATED IN IT ARE TRUE.</p>	
<p>OWNER / OFFICER SIGNATURE</p>	<p>DATE</p>	<p>PRODUCER'S SIGNATURE</p>	<p>DATE</p>
<p>PRINT NAME</p>		<p style="text-align: right;">03/17/2023</p>	

EXHIBIT 10

813 TOWING SERVICE, LLC
1112 East 127th Avenue
Tampa, FL 33612

AGREEMENT FOR PRIVATE PROPERTY IMPOUNDS
PURSUANT TO FLORIDA STATUTES §§715.07 & 713.78

Whereas the parties listed below wish to enter into an agreement for towing services for the purposes of maintaining a clean, safe, and desirable environment in and around the parking lot of the property listed below; and

Whereas, the landowner and/or agent of the landowner wants 813 Towing Service, LLC to be the exclusive operator of towing on its premises; and

Whereas 813 Towing Service, LLC wants to be the exclusive operator of towing on the landowner's premises; the parties agree as follows:

This agreement is entered on this ____ day of _____, 202__, between 813 Towing Service, LLC (hereinafter "813"), located at _____, and _____, (name of condominium or apartment association, hereinafter "CLIENT") the address of the property to which this agreement refers to being located at _____.

This agreement gives 813 the authority to enter upon the property referenced above to remove vehicles that are unauthorized, abandoned, illegally parked or inoperable pursuant to the CLIENT'S, property owner's, Board of Director's, or property management's instructions and requests.

CLIENT acknowledges that CLIENT has provided all tenants, guests, and business invitees with copies of any rules and regulations regarding parking rules to include tenant parking, guest parking, illegal parking, improper parking, parking restrictions, or after-hours parking, and understands that Florida Statutes §§ 715.07 and 713.78, as well as other local/county ordinances, may govern these towing services.

The exclusive use of 813 as the towing service for this property named above shall commence on the ____ day of _____, 202__, and this agreement shall remain in full force and effect until such time as the parties agree to terminate this agreement.

Any changes in parking enforcement procedures not included in this agreement and/or addendum must be faxed or emailed to 813. Improper notice of any such changes will not result in any liability to 813.

Authorized Names:

Main Contact: _____ Title: _____ Telephone: _____
Email: _____
Contact: _____ Title: _____ Telephone: _____
Email: _____

**PLEASE PLACE C, P or T NEXT TO THE SERVICE TYPE
FOR WHICH VEHICLES MAY BE TOWED.**

- C:** The property Calls in to tow company for vehicle removal when needed.
P: The towing company Patrols and removes violations.
T: The towing company Tags the vehicles for 24,48 or 72 hours before towing.

For Patrol, direct violations: Start Enforcement Time _____ Stop Enforcement Time _____

1. _____ No valid permit, No valid resident, tenant, or expired visitors permit.
2. _____ Tow away zone, sign posted and/or pavement markings.
3. _____ Abandoned/inoperable vehicle: Flat tire(s), vehicle on jacks, blocks, broken or missing windows, wheels, minor or major parts.
4. _____ No vehicle registration stickers on the vehicle.
5. _____ Expired Registration Sticker. License plate does not match the vehicle.
6. _____ Vehicle parked in a designated fire lane.
7. _____ Management request and abandoned vehicle removal.
8. _____ Vehicle wrecked or inoperable.
9. _____ No tractor, trailer, or large vehicle (over 1 ton).
10. _____ No commercial vehicles with writing or advertising signage displayed in or on the vehicle unless authorized by the office.
11. _____ Vehicles parked on grass, off pavement, or landscaping.
12. _____ Vehicles parked in handicap space, ramp or unloading zone with no handicap permit.
13. _____ Vehicle blocking or parked in isle or roadway.
14. _____ Guest parking on the community longer than _____ days.
15. _____ Hindering access. Blocking dumpster, building entrances, loading docks or zones, etc.
16. _____ Vehicle taking up more than one parking space or parked over the line. Tire must be completely over the line.
17. _____ Vehicle is displaying a "for sale" sign.
18. _____ Vehicle parked in a reserved or assigned parking space.
19. _____ Vehicle is parked in a non-parking space that is primarily used for pedestrian access.
20. _____ Vehicle is parked on property where posted "NO PARKING".
21. _____ Vehicle is parked on the sidewalk.
22. _____ Double parked behind another vehicle.
23. _____ No backing into parking space.
24. _____ No parking over the sidewalk.
25. ----- Residents parked in visitor parking.
26. _____ Vehicles parked in maintenance parking.

Authorized Signature

Date

Towing Agent

Date

EXHIBIT 11

Exhibit A

Parking Policy Enforcement Letter to the Residents

Dear Long Lake Residents,

Pursuant to the Long Lake Rules and Regulations, please be advised that the Long Lake Ranch Board of Supervisors will begin enforcing the Amenity Center, Townhome Amenity Center, and "Guest Parking Only" Policy on xxxx/xx/xxxx.

- Residents will be required to register their vehicles with the Clubhouse Manage. Each vehicle registered will be issued a bar code sticker that is to be adhered to the lower left corner of the rear windshield (Driver's side). *New residents will receive the bar code sticker at time of access card registration.

First Violation: A Parking Violation Notice will be placed on the windshield advising the resident that they have 24-hours to remove the vehicle from the "Guest Parking Only" area. The resident will also receive notification verbally (phone call), in writing by email, and First-class mail. Staff will document vehicles information for any future violations.

Second and Subsequent Violations: The Long Lake Ranch Board of Supervisors will tow the vehicle at the owner's expense. The owner (resident) of the vehicle will receive notification of the towing verbally (phone call), in writing by email, and First-class mail.

Compliance and enforcement of the Parking Policy are necessary to ensure the standards of the community remain intact, as well as discouraging abandonment of vehicles. We appreciate your cooperation.

Respectfully,

The CDD Board of Supervisors

**Long Lake Ranch
Amenity Center, Townhome Amenity Center,
and Guest Parking Only Policy**

Introduction: This Rule authorizes parking in designated areas and the towing/removal of unauthorized vehicles and vessels parking on District property designated as Tow-Away Zones, which are identified on **Exhibit B** attached hereto.

Designated Parking Areas: Vehicles and vessels may be parked on District property only as indicated on Exhibit A, and as set forth below:

DISTRICT AND COUNTY ROADWAYS. Please refer to Chapter 316, *Florida Statutes*, and Sections 70 and 106, Pasco County Code of Ordinances, for laws related to authorized and unauthorized parking of vehicles or vessels on District and County roadways.

AMENITIES AREAS. Vehicle parking is permitted for Members, Guests and District Staff, employees, and vendors/consultants only during the hours set forth below. **ABSENT AN APPLICABLE EXCEPTION AS SET FORTH HEREIN, THERE IS NO PARKING IN THE AREAS IDENTIFIED BELOW EXCEPT WITHIN THE STATED HOURS:**

AMENITY PARKING AREA	HOURS
Activity Center on Long Lake Ranch Boulevard	7:00 AM to 11:00 PM
Townhome Amenity Center on Lake Waters Place	7:00 AM to 11:00 PM

COMMON PARKING SPACES IN TOWNHOME NEIGHBORHOOD.

Vehicle parking is permitted for Guests and for District Staff, employees and vendors/consultants only, in relation to active projects or construction/maintenance-related activities in the common parking spaces in the Townhome Neighborhoods that are denoted with hash marks on **Exhibit B** attached hereto. No other parking, including, but not limited to, parking of Member-owned vehicles, is permitted in these spaces at any time.

OTHER DISTRICT COMMON AREAS. Vehicle parking is permitted for District Staff, employees, and vendors/consultants only, in relation to active projects or construction/maintenance-related activities. No other parking is permitted in these areas at any time.

DISTRICT TOW-AWAY ZONES. All District property in which parking is prohibited as set forth in Section 2 herein, either entirely or during specific hours, or is otherwise identified in **Exhibit B** attached hereto, is hereby declared a Tow-Away Zone. To the extent that parking on District property is only prohibited during specific hours, that portion of District property shall only be considered a Tow-Away Zone during the period of time in which such parking is prohibited.

DISTRICT AND COUNTY ROADWAYS. In the event that Members or Guests are parking on

District or County roadways in contravention of state law and/or local ordinances, the District Manager shall contact the Pasco County Sheriff's Office to enforce such parking regulations
Exceptions.

VENDORS/CONTRACTORS. The District Manager may authorize vendors/consultants in writing to park company vehicles without charge and in order to facilitate District business. All vehicles authorized must be identified by a vendor window pass or have company vehicle signage clearly visible.

Towing/Removal Procedures.

SIGNAGE AND LANGUAGE REQUIREMENTS. Notice of the Tow-Away Zones shall be approved by the District's Board and shall be posted on District property in the manner set forth in section 715.07, *Florida Statutes*. Such signage is to be placed in conspicuous locations in the areas identified in Section 3 herein, and shall identify the hours in which the area is designated as a Tow-Away Zone, if applicable, in accordance with section 715.07, *Florida Statutes*

TOWING AND REMOVAL AUTHORITY. To effect towing/removal of a vehicle or vessel, the District Manager must verify that the subject vehicle or vessel was not authorized to park under this Rule during the period in question, and then must contact a firm authorized by Florida law to tow/remove vehicles and vessels for the removal of such unauthorized vehicle or vessel at the owner's expense. The vehicle or vessel shall be towed/removed by the firm in accordance with Florida law, specifically the provisions set forth in section 715.07, *Florida Statutes*.

AGREEMENT WITH AUTHORIZED TOWING SERVICE. The District's Board is hereby authorized to enter into and maintain an agreement with a firm authorized by Florida law to tow/remove unauthorized vehicles and vessels from the District's Tow-Away Zones in accordance with Florida law and with the policies set forth herein.

Townhome Parking Policy Enforcement Procedures

1. Notification to the Foxtail residents regarding the designated "Guest Parking Only" (**Exhibit A**) that coincides with the Long Lake Ranch Facilities and Parking Rules Regulations.
2. Residents will be required to register their vehicles with the Clubhouse Manager. Each vehicle registered will be issued a bar code sticker that is to be adhered to the lower left corner of the rear windshield (Driver's side). *New residents will receive the bar code sticker at time of access card registration. Exhibit

First Violation: A Parking Violation Notice (**Exhibit C**) will be placed on the windshield advising the resident that they have 24-hours to remove the vehicle from the "Guest Parking Only" area. The resident will also receive notification verbally (phone call), in writing by email, and First-class mail. Staff will document vehicles information for any future violations.

Second Violation: The Long Lake Ranch Board of Supervisors will tow the vehicle at the owner's expense.

*Include contact information to the clubhouse manager and DM for notification by residents when they witness a violation with the "Guest Parking Only."

The first couple of weeks give warnings of the violation.

Document the vehicle and tag number with the 1st violation and then tow on the 2nd violation.

Exhibit B

LLR V8 and Amenity Center

LLR PARKING EXHIBIT A-1

LONG LAKE RANCH, LLC.

PASCO COUNTY



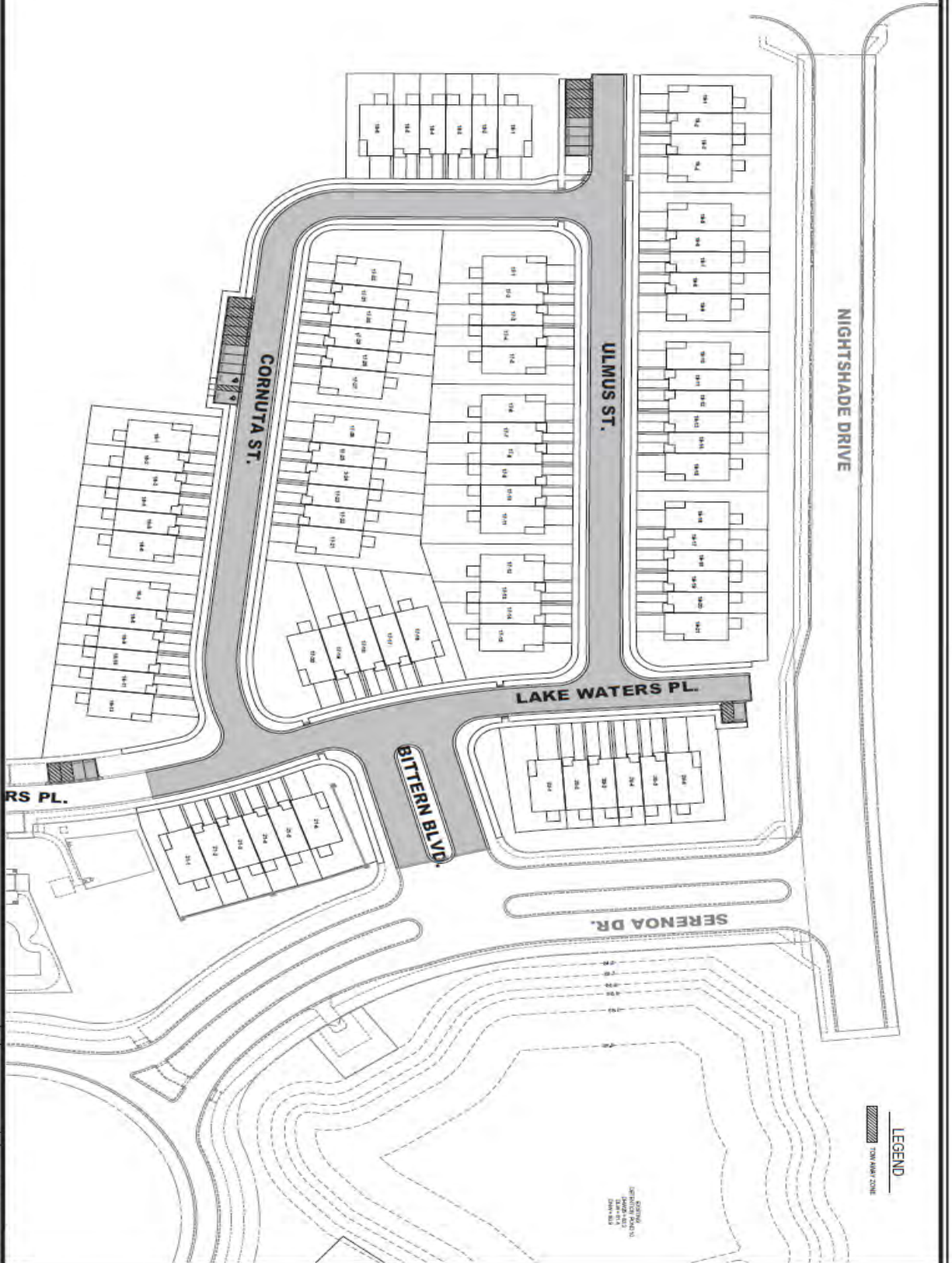
DATE	10/1/2010
BY	J. L. L. L.
PROJECT	LLR V8 and Amenity Center
CLIENT	LONG LAKE RANCH, LLC.
LOCATION	PASCO COUNTY
SCALE	1" = 100'
LEGEND	TOW AWAY ZONE
HEIDT DESIGN	ARCHITECTS
10000 N. 100th Ave.	Suite 100
Fort Lauderdale, FL 33324	
Phone: (954) 571-1111	
Fax: (954) 571-1112	
Email: info@heidtdesign.com	
Website: www.heidtdesign.com	

THIS PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION. THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS. THE CLIENT ASSUMES ALL LIABILITY FOR ANY ERRORS OR OMISSIONS. THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS. THE CLIENT ASSUMES ALL LIABILITY FOR ANY ERRORS OR OMISSIONS.

Exhibit B

LLR PARKING EXHIBIT A-2
LLR V6

LONG LAKE RANCH, LLC.
PASCO COUNTY



DATE	10/1/17
BY	HEIDT DESIGN
PROJECT	LONG LAKE RANCH, LLC. PASCO COUNTY
LLR PARKING EXHIBIT A-2	LLR V6

Exhibit C



**Long Lake Ranch
Community Development District
“Guest Parking Only” Violation Notice**

This area is designated for “Guest Parking Only,” pursuant to the Long Lake Ranch Community Development District Parking Policy, as referenced in the Long Lake Ranch Facilities and Parking Rules & Regulations.

Any vehicles owned by Long Lake Ranch residents that are parked in the “Guest Parking Only” area will be towed at the owner’s expense.

“Guest Parking Only” signs are posted in the areas designated specifically for “Guest Parking Only.”

Towing services are provided by (Name of towing company)

Questions regarding this notice may be directed to the Clubhouse Manager, Doug Ruhlig (813) 729-1521 or manager@longlakeranchclub.com and / or the District Manager, Tish Dobson (813) 758-4841 or tdobson@dpfgmc.com.

Thank you,

The CDD Board of Supervisors

Exhibit D

Long Lake Ranch
Foxtail Resident Vehicle Parking Registration

Vehicle Owner(s) Information

	Last Name:	Owner 1 First Name	Owner 2 First Name
1			
2			
	Address:		
	Phone Number:	Owner 1	Owner 2
	Email Address:	Owner 1	Owner 2
	Make of Vehicle(s)	Color of Vehicle(s)	Vehicle Registration/Tag
1			
2			
3			
4			

Exhibit E
Long Lake Ranch
“Guest Parking Only” Violations

	Date:	Vehicle Description	Vehicle on File Y/N	Registration #:	Received Warning Y/N	Towed Y/N	Photo of Vehicle
1							
2							
3							
4							
5							
6							
7							
8							
9							
10							
11							
12							
13							
14							
15							
16							
17							
18							
19							
20							
21							
22							
23							
24							
25							

Exhibit F



EXHIBIT 12

Accept

Decline

Estimate

Date: Apr 4, 2023
No. 486

www.american-powerwashing.com
willbutler1988@gmail.com



Presented To:

Long Lake Ranch CDD
Tish Dobson
250 International Parkway
Lake Mary, FL 32746

Service Location:

Long Lake Ranch CDD
19037 Long Lake Ranch Boulevard
Lutz, FL 33558

Description	Amount
APW #1 (Foxtail)	\$3,196.80
Hot water deep cleaning with surface cleaner and/or pressure gun. Treated with biodegradable mold/algae remover to mitigate future organic surface growth. Areas treated: Sidewalks and Curbs	
APW #2 (Big Roundabout)	\$1,362.00
Hot water deep cleaning with surface cleaner and/or pressure gun. Treated with biodegradable mold/algae remover to mitigate future organic surface growth. Areas treated: Sidewalks and Curbs	
APW #3 (Lake- Highlighted in Blue)	\$12,581.28
Hot water deep cleaning with surface cleaner and/or pressure gun. Treated with biodegradable mold/algae remover to mitigate future organic surface growth. Areas treated: Sidewalks and Curbs	
APW #3 (Lake- Highlighted in Green)	\$874.00
Soft wash (low pressure cleaning) process for all PVC Fencing as discussed. Spot treatment around the lake. Entire cleaning on all lake entrance PVC Fencing. Treated with biodegradable mold/algae remover to mitigate future organic surface growth.	

Areas treated: PVC Fencing

APW #4 (Amenity Center) \$3,186.00

Hot water deep cleaning with surface cleaner and/or pressure gun.
Treated with biodegradable mold/algae remover to mitigate future organic surface growth.

Areas treated: Sidewalks

APW #4 (Long Lake Ranch Blvd & Fox Grape Loop) \$4,360.80

Hot water deep cleaning with surface cleaner and/or pressure gun.
Treated with biodegradable mold/algae remover to mitigate future organic surface growth.

Areas treated: Sidewalks and Curbs

APW #5 (Long Lake Ranch Blvd) \$1,664.40

Hot water deep cleaning with surface cleaner and/or pressure gun.
Treated with biodegradable mold/algae remover to mitigate future organic surface growth.

Areas treated: Sidewalks and Curbs

APW #6 (Roseate Drive) \$1,754.40

Hot water deep cleaning with surface cleaner and/or pressure gun.
Treated with biodegradable mold/algae remover to mitigate future organic surface growth.

Areas treated: Sidewalks and Curbs

APW #7 (Roseate Drive Mailbox Area) \$476.40

Hot water deep cleaning with surface cleaner and/or pressure gun.
Treated with biodegradable mold/algae remover to mitigate future organic surface growth.

Areas treated: Sidewalks and Curbs

APW #8 (Primrose Estates) \$4,410.00

Hot water deep cleaning with surface cleaner and/or pressure gun.
Treated with biodegradable mold/algae remover to mitigate future organic surface growth.

Areas treated: Sidewalks and Curbs

Total \$33,866.08

Thank you for allowing us the opportunity to present our service to you!



The enclosed proposal is presented by
Riptide Pressure Washing, LLC

Website: www.riptidepressurewashing.com

Email: office@riptidepressurewashing.com

Phone: 727-216-9672

WHAT YOU GET WITH RIPTIDE:		
RIPTIDE SUPPLIES ALL OF THE WATER.	✓	Page 2
RIPTIDE HAS INDUSTRIAL EQUIPMENT FOR EFFICIENCY AND EFFECTIVENESS.	✓	Page 2
RIPTIDE USES HOT WATER FOR BEST RESULTS WHEN CLEANING CONCRETE.	✓	Page 2
RIPTIDE APPLIES AN ALGICIDE TO CONCRETE TO IMPROVE THE LONGEVITY OF THE CLEANING.	✓	Page 2
RIPTIDE CARRIES WORKERS COMPENSATION INSURANCE.	✓	Page 3
RIPTIDE CARRIES COMMERCIAL AUTO AND GENERAL LIABILITY WITH \$2M IN PROTECTION.	✓	Page 3
RIPTIDE IS A PRE-APPROVED VENDOR.	✓	Page 3

This proposal contains proprietary information intended solely for the individual or entity to whom it is addressed and may not be shared or posted publicly without permission.

OUR EQUIPMENT:

Riptide's industrial equipment consists of three, turbo diesel 84HP, 20 gallon-per-minute pressure washing machines, connected to instant hot-water heaters. These machines are mounted on a 25' x 10' trailer with a 2,000-gallon water tank and a county issued hydrant filtration system for extracting water from hydrant meters with authorization from the county. Additionally, a custom, compressed-air atomizing pump is mounted to our rig to apply the appropriate amount of cleaning agent to clean a structure, roof, or building of any size.

OUR CLEANING METHOD FOR ROOFS, BUILDINGS AND OTHER STRUCTURES:

Riptide performs roof cleaning, exterior building cleaning, fence cleaning and boundary wall cleaning using our state-of-the-art cleaning agent application system. A proprietary blend of cleaning agents, with the active ingredient SLO-MO, are mixed in our chemical tank and applied to the structure by our team of professionals. Once applied, the cleaning agents break down the living organisms that create the unsightly discoloration on exterior structures. The end result is restored aesthetic value; and the elimination of contaminants such as mold, mildew and algae. Our cleaning agents are approved by the Vinyl Siding Institute and the Roof Cleaning Institute of America. Photo, right: Roof cleaning being performed on a 3-story apt. building in Tampa.



PRO TIP: Never allow a vendor to use a pressure washer or a concrete cleaner on a roof.

OUR CLEANING METHOD FOR CONCRETE:

We use a 2-step process to clean concrete surfaces such as sidewalks, walkways, curbing, etc. Step one is performed using a flat surface cleaner. The flat surface cleaner affords a powerful, uniform cleaning without risk of damage to concrete material. This cleaning tool, when combined with the use of hot water to create steam, provides the most effective cleaning method for flat surfaces. After the concrete is cleaned, we apply an algicide which oxidizes the algae, mold and mildew from the porous concrete and inhibits its return. The end result is bright, clean concrete material. Photo, right: High-performance, industrial flat surface cleaner



Please note that Riptide also offers a concrete treatment to remove rust and iron stains that are the result of well water irrigation systems. This is a separate service using a different cleaning method (a chemical application) and must be specifically requested.

HOW WE DETERMINE OUR PRICING:

All cost proposals are calculated using linear or square footage of the area to be cleaned. This allows us to determine the amount of algicide we will need for the scope of work. A detailed itemized cost proposal is included on the last page of this proposal. **This proposal is being submitted as one complete document, do not separate the itemized cost proposal when presenting to decision-makers.**

HOW WE PROTECT YOUR ASSETS:

Riptide carries Worker's Compensation, General Liability and Commercial Auto insurance with levels of coverage well beyond the minimums. A certificate of insurance is included on the last page of this proposal. **Your property will be named as an additional insured upon acceptance of our cost proposal.** Riptide Pressure Washing, LLC is an approved vendor with credentialing companies such as Compliance Depot, Enterprise Risk Control, Grid Vendor, VIVE and Registry Monitoring Services.

HOW YOU WILL BENEFIT FROM CHOOSING RIPTIDE PRESSURE WASHING, LLC:

Riptide is the best-equipped exterior cleaning specialist in the entire state of Florida. The efficiency of our industrial equipment reduces the time needed to complete a project, thereby reducing disruption to residents and commerce. Simply put, other vendors would need a full week to perform the same amount of services that Riptide performs in one day. Working efficiently means that we can offer very competitive pricing. When compared “apples to apples” with other vendors, we are almost always the least expensive vendor, offering you the best service. Be sure to compare wisely.

PRO TIP: When comparing vendors, use the checklist on our cover page to be certain you are asking all of the right questions.



Exhibit G

RIPTIDE PRESSURE WASHING, LLC

Clubhouse
3,116.98 sq ft
223.58 ft

RIPTIDEPRESSUREWASHING.COM

Long Lake Ranch CDD

RIPTIDE PRESSURE WASHING, LLC

RIPTIDEPRESSUREWASHING.COM

Cost proposal for:

Riptide Pressure Washing, LLC

Long Lake Ranch CDD
Long Lake Ranch Blvd
Lutz, FL 33558

Property Manager:
Tish Dobson

Item	Description	Quantity	Cost	Total
Fence	Cleaning of the PVC fence around the lake highlighted in purple.	6,059	0.50	3,029.50
Sidewalks	Cleaning of the sidewalks highlighted in green.	9,994	0.60	5,996.40
Sidewalks	Cleaning of the sidewalks highlighted in yellow.	4,380	1.00	4,380.00
Sidewalks	Cleaning of the sidewalks highlighted in red.	6,313	0.80	5,050.40
Sidewalk	Cleaning of the sidewalk highlighted in blue.	1,702	0.80	1,361.60
Island Curb	Cleaning of all island curbing highlighted in white.	4,676	0.20	935.20
Curbing	Cleaning of the curbing and storm drains adjacent to the sidewalks.	16,075	0.30	4,822.50
Pavers	Cleaning of the paver traffic circles, including application of algicide.	4,080	0.15	612.00
Roof	Cleaning of the second and third levels of the ammenity roof. 3,116 SF	3,116	0.30	934.80
Monuments	Cleaning of the 7 entrance area monuments/signage.	7	100.00	700.00

Proposal total = \$27,822.40

**Signature and date of approval.*



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

02/07/2023

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an **ADDITIONAL INSURED**, the policy(ies) must have **ADDITIONAL INSURED** provisions or be endorsed. If **SUBROGATION IS WAIVED**, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER One Source Advisory 203 Crystal Grove Blvd Lutz FL 33549	CONTACT NAME: Jeff Hanneken PHONE (A/C, No, Ext): (813) 949-8636 E-MAIL ADDRESS: jeff@onesourceadvisory.com FAX (A/C, No): (813) 909-8743
INSURED Riptide Pressure Washing LLC 6727 Trouble Creek Rd New Port Richey FL 34653	INSURER(S) AFFORDING COVERAGE INSURER A: Southern-Owners Insurance Company INSURER B: AmGUARD Insurance Company INSURER C: FCB INSURER D: INSURER E: INSURER F:
	NAIC # 10190 42390

COVERAGES**CERTIFICATE NUMBER:** 22-23 Cert**REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			20388929	05/21/2022	05/21/2023	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 Hired & Non Owned \$ 1,000,000
B	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY			RIAU283730	05/21/2022	05/21/2023	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$			4919265801	05/21/2022	05/21/2023	EACH OCCURRENCE \$ 5,000,000 AGGREGATE \$ 5,000,000 \$
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y / N <input type="checkbox"/>	N / A	10666515-2022	02/06/2023	02/06/2024	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
A	Inland Marine			20388929	05/21/2022	05/21/2023	Rented Equipment Limit: 100,000 Deductible 500

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER**CANCELLATION**Riptide Pressure Washing LLC
6727 Trouble Creek Rd

New Port Richey

FL 34653

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

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Request for Taxpayer Identification Number and Certification

Give Form to the
requester. Do not
send to the IRS.

► Go to www.irs.gov/FormW9 for instructions and the latest information.

Print or type. See Specific Instructions on page 3.	1 Name (as shown on your income tax return). Name is required on this line; do not leave this line blank.	
	2 Business name/disregarded entity name, if different from above	
	3 Check appropriate box for federal tax classification of the person whose name is entered on line 1. Check only one of the following seven boxes.	4 Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3):
	<input type="checkbox"/> Individual/sole proprietor or single-member LLC <input type="checkbox"/> Limited liability company. Enter the tax classification (C=C corporation, S=S corporation, P=Partnership) ► _____ Note: Check the appropriate box in the line above for the tax classification of the single-member owner. Do not check LLC if the LLC is classified as a single-member LLC that is disregarded from the owner unless the owner of the LLC is another LLC that is not disregarded from the owner for U.S. federal tax purposes. Otherwise, a single-member LLC that is disregarded from the owner should check the appropriate box for the tax classification of its owner. <input type="checkbox"/> Other (see instructions) ► _____	Exempt payee code (if any) _____ Exemption from FATCA reporting code (if any) _____ <small>(Applies to accounts maintained outside the U.S.)</small>
	5 Address (number, street, and apt. or suite no.) See instructions.	Requester's name and address (optional)
6 City, state, and ZIP code		
7 List account number(s) here (optional)		

Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the instructions for Part I, later. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN*, later.

Note: If the account is in more than one name, see the instructions for line 1. Also see *What Name and Number To Give the Requester* for guidelines on whose number to enter.

Social security number											
				-				-			
or											
Employer identification number											

Part II Certification

Under penalties of perjury, I certify that:

- The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
- I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
- I am a U.S. citizen or other U.S. person (defined below); and
- The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

Certification instructions. You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions for Part II, later.

Sign Here	Signature of U.S. person ► <i>Robert Byrnes</i>	Date ► 2/9/2022
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General Instructions

Section references are to the Internal Revenue Code unless otherwise noted.

Future developments. For the latest information about developments related to Form W-9 and its instructions, such as legislation enacted after they were published, go to www.irs.gov/FormW9.

Purpose of Form

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS must obtain your correct taxpayer identification number (TIN) which may be your social security number (SSN), individual taxpayer identification number (ITIN), adoption taxpayer identification number (ATIN), or employer identification number (EIN), to report on an information return the amount paid to you, or other amount reportable on an information return. Examples of information returns include, but are not limited to, the following.

- Form 1099-INT (interest earned or paid)

- Form 1099-DIV (dividends, including those from stocks or mutual funds)
- Form 1099-MISC (various types of income, prizes, awards, or gross proceeds)
- Form 1099-B (stock or mutual fund sales and certain other transactions by brokers)
- Form 1099-S (proceeds from real estate transactions)
- Form 1099-K (merchant card and third party network transactions)
- Form 1098 (home mortgage interest), 1098-E (student loan interest), 1098-T (tuition)
- Form 1099-C (canceled debt)
- Form 1099-A (acquisition or abandonment of secured property)

Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN.

If you do not return Form W-9 to the requester with a TIN, you might be subject to backup withholding. See What is backup withholding, later.



20108 Pond Spring Way
Tampa, FL 33647
(813) 991-6069
FAX (813) 907-8205

JOB ESTIMATE

TO: _____
COMPANY NAME: Long Lake Ranch
DATE: 4/4/23

QUOTE: _____	
Pressure wash sidewalk, PVC fences and retaining wall behind pool.	\$9,500.00
Pressure wash community monuments.	1,300.00
Foxtail - pressure wash building, mail kiosk and picnic table area.	1,500.00
Painting -	3,600.00
Replace sidewalk sections near mailbox kiosk at amenity center - 6' x 6'(2).	1,750.00
Foxtail french drain - remove trip hazard and unclog drains at flower beds.	500.00
Mail kiosk at amenity center - pressure wash, clean gutters, fix soffit and paint.	3,600.00
Amenity building- pressure wash all buildings and sidewalks.	4,700.00
TOTAL: \$ 26,450.00	

Thank You: Romaner Graphics

EXHIBIT 13



20108 Pond Spring Way
Tampa, FL 33647
(813) 991-6069
FAX (813) 907-8205

JOB ESTIMATE

TO: _____
COMPANY NAME: Long Lake Ranch
DATE: 4/4/23

QUOTE:

Name	Size	Quantity	Price
* Entry to Clubhouse Amenities	28 1/4 x 23 1/2 w	2 (NEW)	2 @ \$185 ea. = \$370.00
*Tennis Court	47 1/2 x 35 1/2 w	1 (NEW)	\$345.00
*Basketball Court	47 1/2 x 35 1/2 w	1 (NEW)	\$345.00
*Park Rules	47 1/2 x 35 1/2 w	1 (NEW)	\$345.00
*Dog Park	36 x 24 w	1 (NEW)	\$300.00
*Pool Rules (inside wall)	40 x 40	2 (NEW)	2 @ \$325 ea. = \$650.00
Dock Rules	48 x 36 w	1 (existing)	\$285.00
*Swimming Pool Rules (deck)	40 x 48	4 (NEW)	4 @ \$300 ea. = \$1,200.00
Alligator sign by the dock	18 x 12 w	1 (existing)	\$125.00
Visitor Parking Only with arrows	24 x 24	9 (existing)	9 @ \$145 ea. = \$1,305.00
US Postal Service Parking	24 x 24	1 (existing)	\$145.00
No Trespassing/Fishing/Watercraft	32 x 24	2 (existing)	2 @ \$150 ea. = \$300.00

Other signage:

Stop sign (Clubhouse Parking Lot)	30	1	\$115.00
Crosswalk sign (Clubhouse)	U Channel, breakaway lap splice, left arrow.	1	\$345.00
Amenity Rules	40 x 48	2 (existing)	2 @ \$275 ea. = \$550.00
Fishing is for the Birds	24 x 30	1 (existing)	\$155.00
Fishing Allowed w/rt. arrow	24 x 24	1 (existing)	\$145.00

TOTAL: \$7,025.00

* Includes typesetting and new layout.

If posts are needed, 2 1/2" aluminum with concrete - \$125.00 ea.

Thank You: Romaner Graphics

EXHIBIT 14

DEREK ZYNDORF
19872 LONG LAKE RANCH BOULEVARD
NO#
LUTZ, FLORIDA 33558

Sales: Miguel Silva
19872 Long Lake Ranch Boulevard-HS/ SS - Res
19872 Long Lake Ranch Boulevard no# Lutz, Florida 33558

Est ID: EST3715695

Date: Mar-09-2023

The Grounds Guys are a leading provider of landscape management. We have been in business for more than 20 years and in that time we have built a reputation for quality and excellent service. We understand that this goes beyond the high-quality landscaping services we provide. We pride ourselves on the relationships we create with our business partners through our world-class customer service techniques and positive image. Our services become an extension of yours, and we do our best to surpass expectations.

The Grounds Guys offer you a number of beneficial features that make our company unique, including:

Clean, Branded Vehicles
Professional, Uniformed Personnel
Timely Response Guarantee
Safe, Reliable Equipment Maintained Daily
Status and Quality Reports Delivered Timely
Additional features include our self-dispatch portal, GPS tracking, payment options, on-going training and safety, an environmental focus, and our Culture of C.A.R.E.

We show that we care by putting the needs of our Customers first, by always having a positive and helpful Attitude, and by treating everyone and everything with Respect. By living our code of values, we Enjoy life in the process!

Proposal is valid for 30 days. We do require 50% deposit when scheduling and approving the proposal. We can accept all major credit cards and we offer two payment options:

12 months same as cash
5 years with 6.99% APR

If you have any questions at any time, please don't hesitate to contact us.

The Grounds Guys of Land O Lakes

SOD INSTALL 600SQFT - BAHIA

\$751.00

Sodding New Areas:

1. Lay sod to form a solid mass with tightly fitted seams. Butt ends and sides of sod; do not stretch or overlap. Stagger sod strips or pads to offset seams in adjacent courses. Avoid damage to subgrade or sod during installation. Tamp and roll lightly to ensure contact with subgrade, eliminate air pockets, and form a smooth surface.
2. Saturate sod with fine water spray within 2 hours of planting. During first week, water daily or more frequently as necessary to maintain moist soil to a minimum depth of 1 1/2 inches below the sod.

Reconditioning Existing Areas:

1. Remove sod and vegetation from diseased or unsatisfactory areas; do not bury into soil.
2. Where substantial lawn remains, mow, dethatch, core aerate and rake.
3. Remove weeds before seeding. Where weeds are extensive, apply selective herbicides as required. Do not use pre-emergence herbicides.
4. Remove waste and foreign materials, including weeds, soil cores, grass, vegetation, and turf, and legally dispose of it off of the property.
5. Till stripped, bare, and compacted areas thoroughly to a depth of 6 inches.
6. Apply required soil amendments and initial fertilizers and mix thoroughly into top 4 inches of soil. Provide new planting soil as required to fill low spots and meet new finish grades.
7. Resodding and reseedling shall be done in a manner that will cause a minimum of disturbances to the existing stand of turf.
8. Water newly planted areas and keep moist until new grass is established.



Date Approved: _____

Date Sprayed: _____

7608 W. Linebaugh Ave., Tampa, FL 33625

Phone: (813) 886-2163 • (813) 972-4780 • Fax: (813) 961-1189

E-mail: rodriguezsodranch@yahoo.com • Web: www.rodriguezsod.com

PROPOSAL

Customer Kim and Derek Appt. Date/Time 2/21/2023

Address 19872 Long Lake Ranch City Lutz State FL Zip _____

Phone Number 727 505 3075 Email _____

Price per Square Foot \$ _____ Total Square Feet 745 Total Price \$ 670.00

- Price includes: Application of Roundup applied by licensed company, delivery of new sod, removal of old sod, raking, soil preparation, installation of new sod, discarding of debris, labor

☒ Re-sodding ☐ Installation new build ☐ Minimum Job

Type of Sod ☐ Floratam ☐ Palmetto ☐ Bitter Blue ☒ Bahia ☐ Empire Zoysia ☐ Other _____

Landscape Material

☐ Rock (type) _____ Cubic Yards _____ \$ _____
☐ Mulch (type) _____ Cubic Yards _____ \$ _____
☐ Fill Dirt _____ Cubic Yards _____ \$ _____

Additional Services ☐ Irrigation Repair ☐ Stump/Root Grinding ☐ Drain Work

QTY	DESCRIPTION	PRICE	AMOUNT

Total Price \$ 670.00

This estimate is an approximation. Actual cost may change once all project materials are finalized. Prior to any changes, the client will be notified. Estimate valid for _____ days. Estimated time to complete this job is _____ Business days. Additional days may be required due to rain or inclement weather.

If you would like to discuss your estimate or make changes, contact me at 813 363 6344

- ☐ **30 day guarantee** on sod and plants with working in-ground automatic sprinkler system.
- ☐ No Sprinkler or inoperable sprinkler system
- ☐ No Warranty under acts of God circumstances

☒ Sunshine 811 will mark off all utilities and confirmation will be recieved prior to starting your project. We are not responsible for any damage on any utilities under ground. The Homeowner is responsible for contacting provider of damaged utilities.

Sales Manager

Property Owner Estimate Approval

Date

Long Lake Ranch Master Association, Inc.

July 12, 2022

Derek Zyndorf
19872 Long Lake Ranch Blvd
Lutz, FL 33558

Architectural Approval Notice: 19872 Long Lake Ranch Blvd

Dear Derek Zyndorf:

The architectural change request for the following: Pool & Screen Enclosure has been approved by the Architectural Committee based on the following conditions.

Pool and screen approved contingent upon: Must follow published guidelines. Approval is contingent upon owner obtaining permission from CDD for access.

This approval is based on the aesthetics of your proposed change and should not be taken as any certification to the construction worthiness or structural integrity of the change you requested. You must follow all local building codes and setback requirements when making this change. A building permit or utility locates may also be required. Please check with all County ordinances prior to commencement.

This approval does not grant you access use to any Association, CDD or County property for purposes of making this modification. If access is required for your modification, you must obtain approval from the landowner in advance.

The Association board reserves the right to make a final inspection of the change to make sure it matches the request you submitted for approval. Please follow the plan you submitted or submit an additional request form if the original plan is modified.

Sincerely,

Rizzetta & Company, Inc. Wesley Chapel
As Agent for the Long Lake Ranch Master Association, Inc.

Local Office:
5844 Old Pasco Rd
Suite 100
Wesley Chapel, FL 33544
(813) 994-1001

Mailing Address:
3434 Colwell Avenue Suite 200
Tampa, FL 33614

Email: hoageneral@rizzetta.com

From: Derek Zyndorf <derek.zyndorf@gmail.com>
Date: July 8, 2022 at 5:38:48 PM EDT
To: ARC LLR <arc.longlakeranch@gmail.com>
Subject: Re: Pool Application

Thank you for the heads up! We were wondering about the approval process for using the CDD land. We will be at the meeting on Monday

On Fri, Jul 8, 2022 at 5:22 PM ARC LLR <arc.longlakeranch@gmail.com> wrote:
Good evening Derek-

I just wanted to give you a heads up that you will need to obtain permission from the CDD for the pool company to access your yard via CDD land.

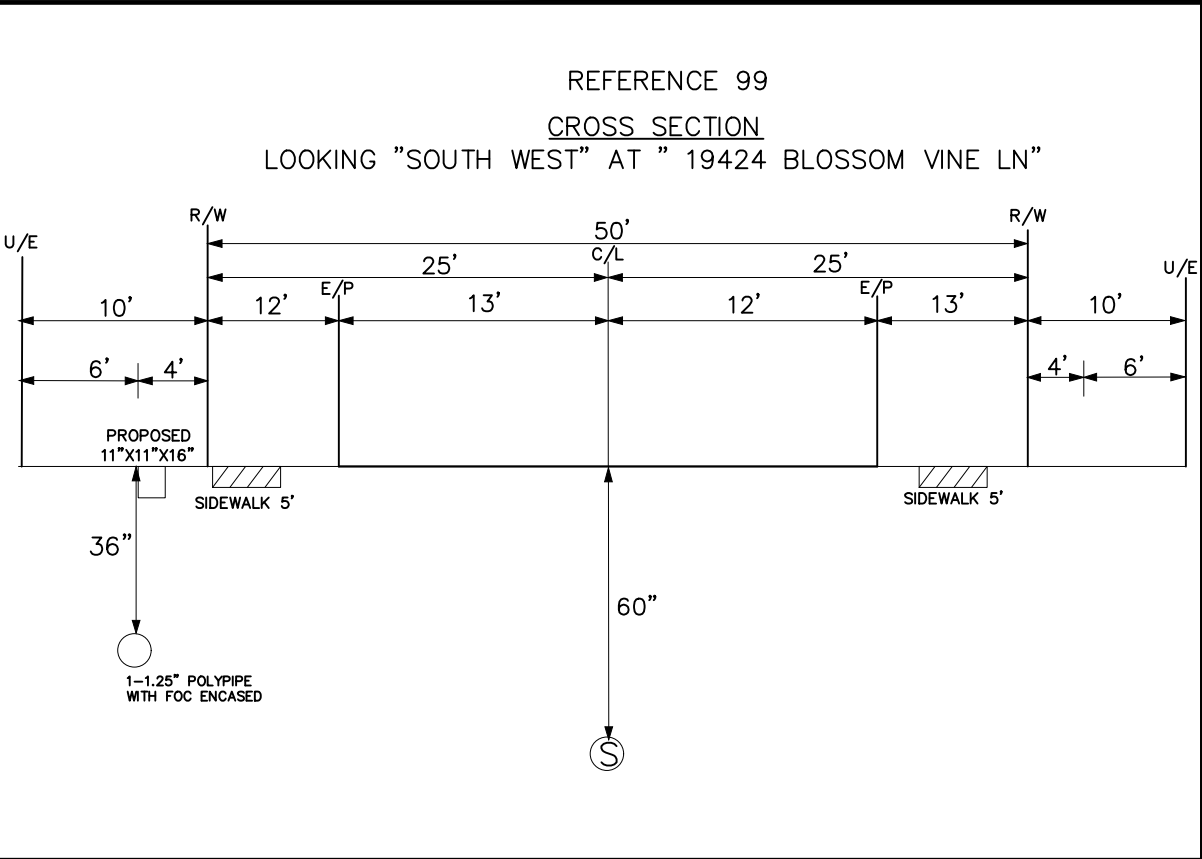
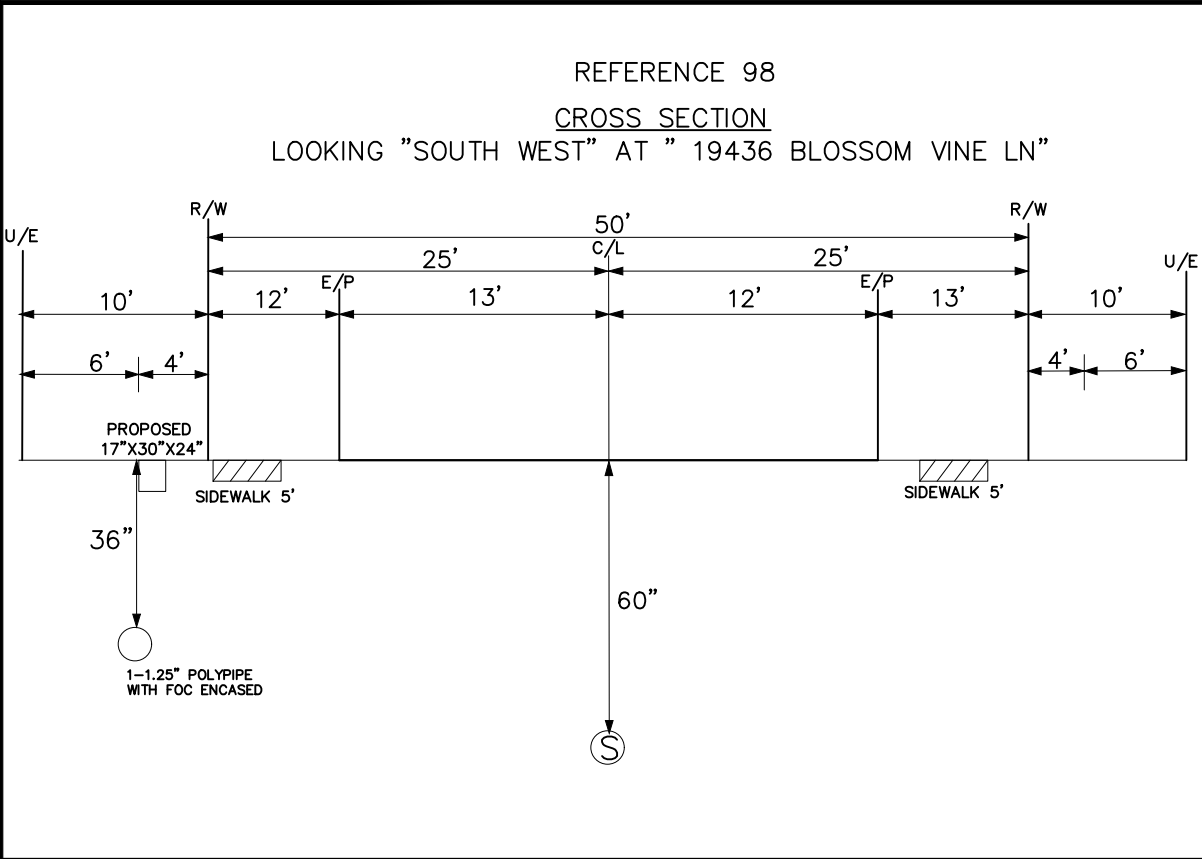
Please contact Tish Dobson, District Manager, tdobson@dpfgma.com

We will be reviewing your application on Monday.

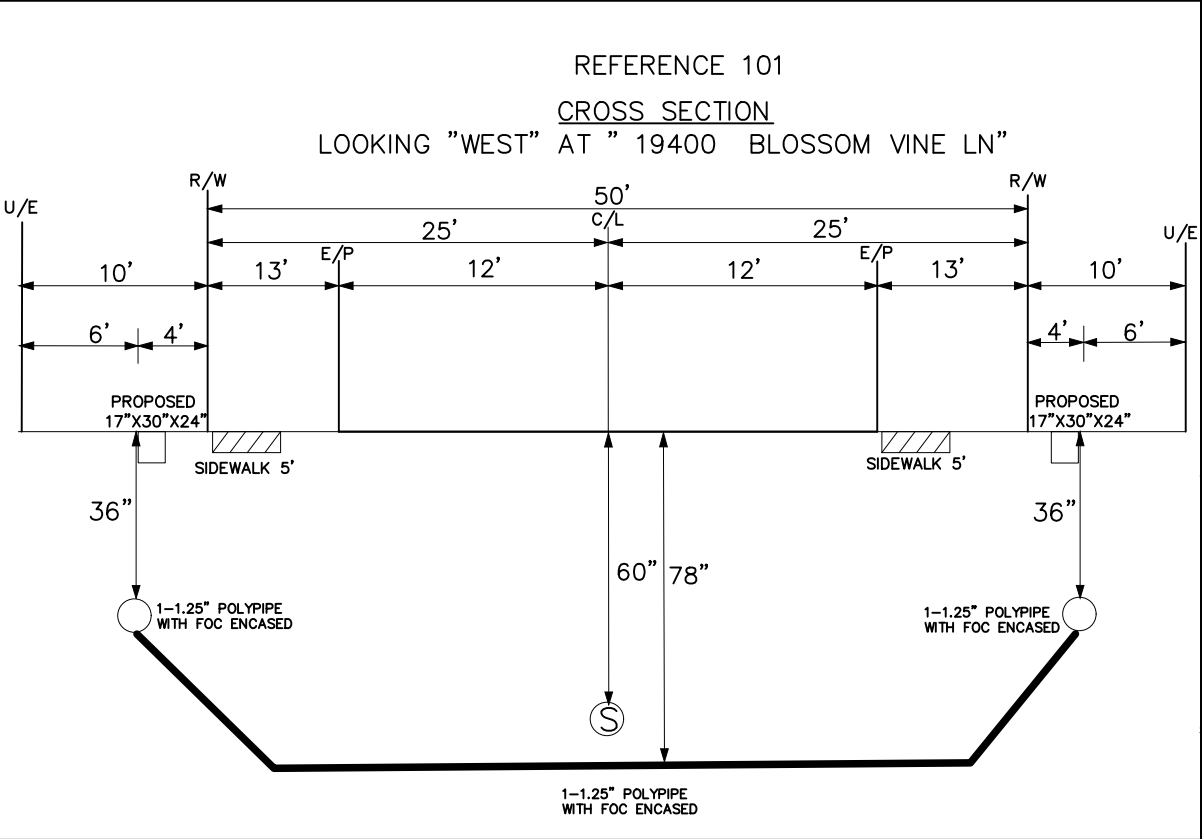
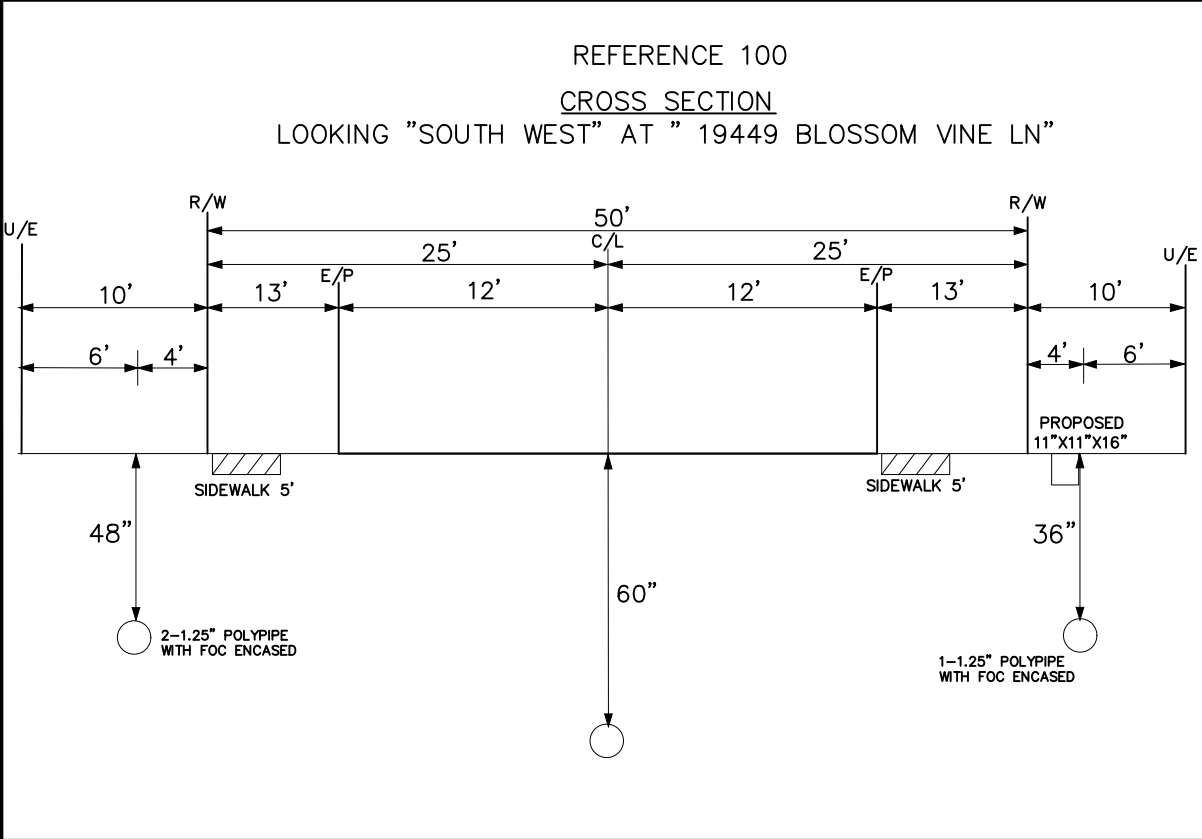
Thank you,

Shauna Rhodes
ARC Chair

EXHIBIT 15



ROW-2023-00078



UNITS / ACCT CODES

REVISIONS



CROSS SECTIONS

####

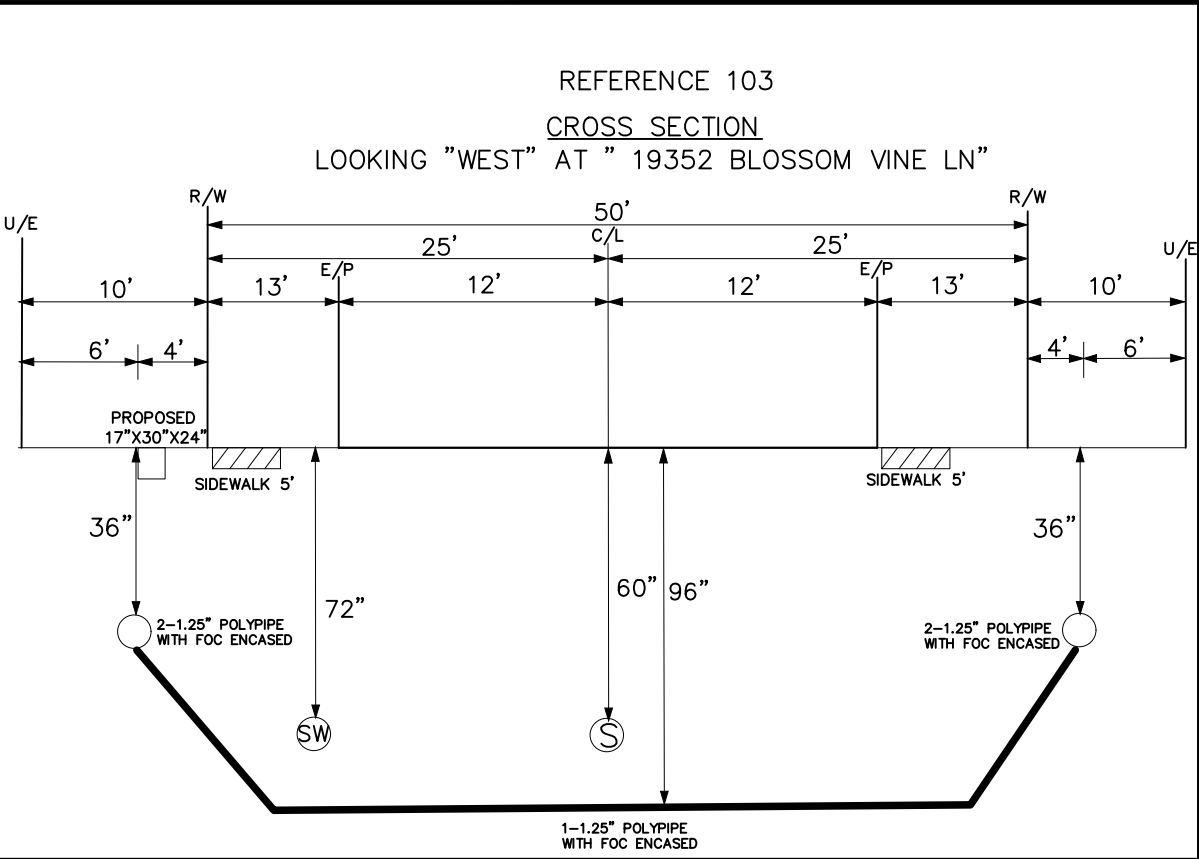
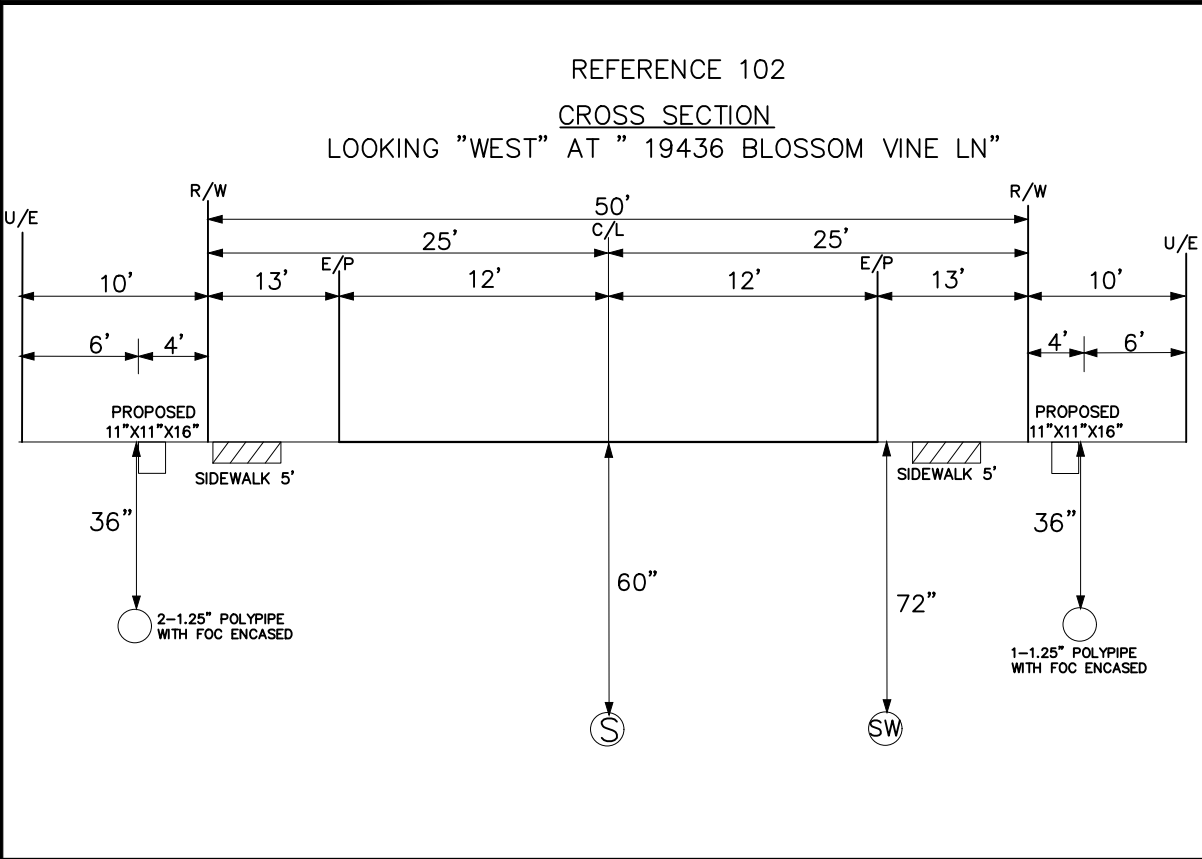
NOTE:
ALL BORES WILL AND
END AT A MIN OF 4'
FROM E/P

NOTE:
ALL UTILITIES NOT
SHOWN IN R/W WILL
BE LOCATED PRIOR TO
CONSTRUCTION

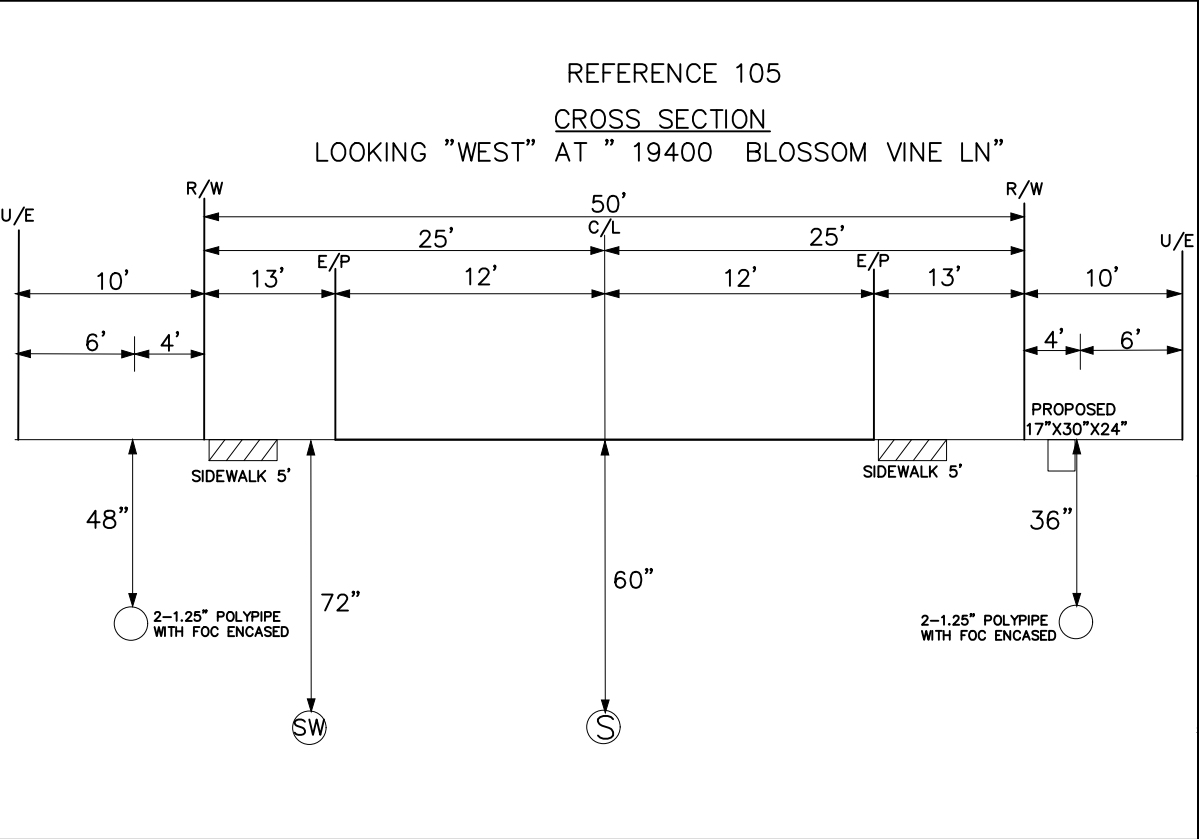
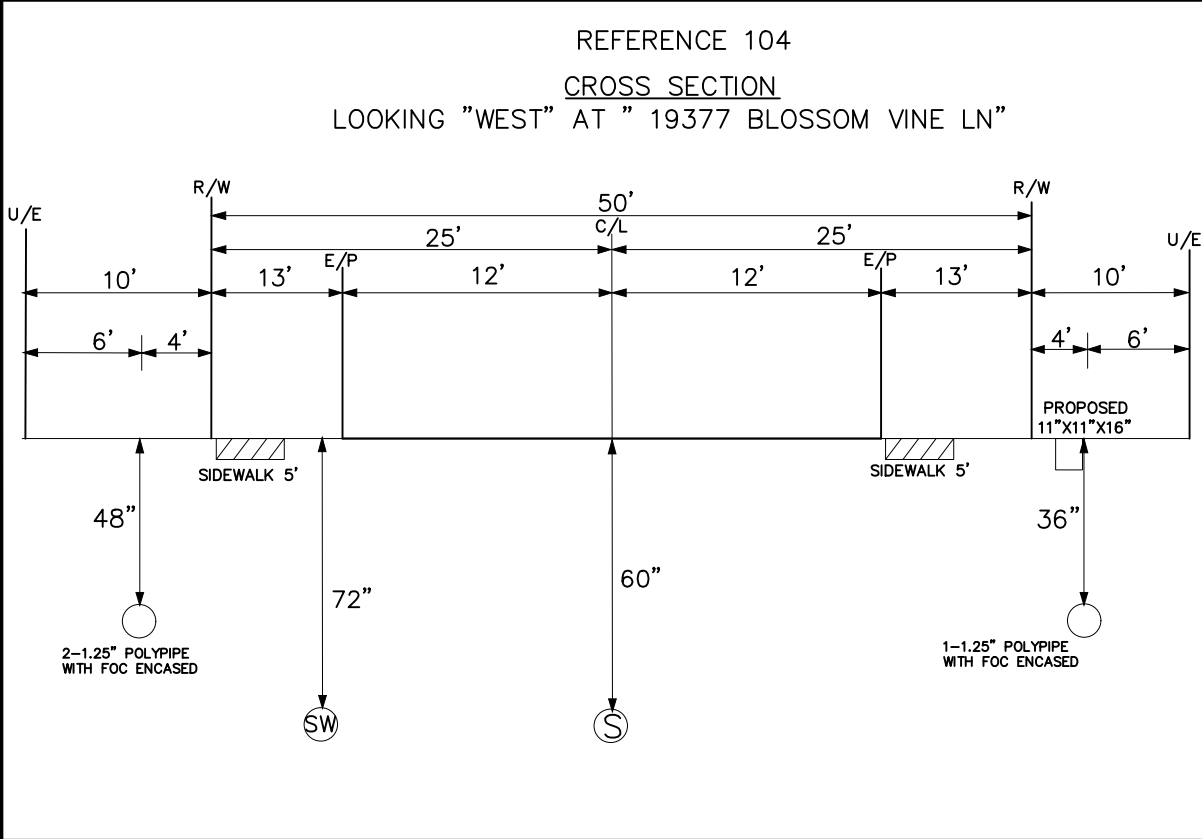
NOTE:
ALL UTILITIES IN AREA
ARE APPROXIMATE
LOCATE PRIOR TO
CONSTRUCTION

NOTE:
G-GAS
W-WATER
P-POWER
S-SEWER

PROJECT NUMBER:	4179006	C.O. AREA:	LUTZ
		EXCH. CODE:	LUTZFLXA
DRAWN DATE:	15-09-2022	ENGR:	EARL DOWDY
		PHONE:	8133264135
SCALE:		CNTY:	PASCO
		FILE:	CROSS SECTION 4179006.DWG
TWNSHP:	###	TAX DISTRICT:	DWG 61 OF 92
		RNG:	###
		SEC:	###



ROW-2023-00078



UNITS / ACCT CODES

REVISIONS



CROSS SECTIONS

####

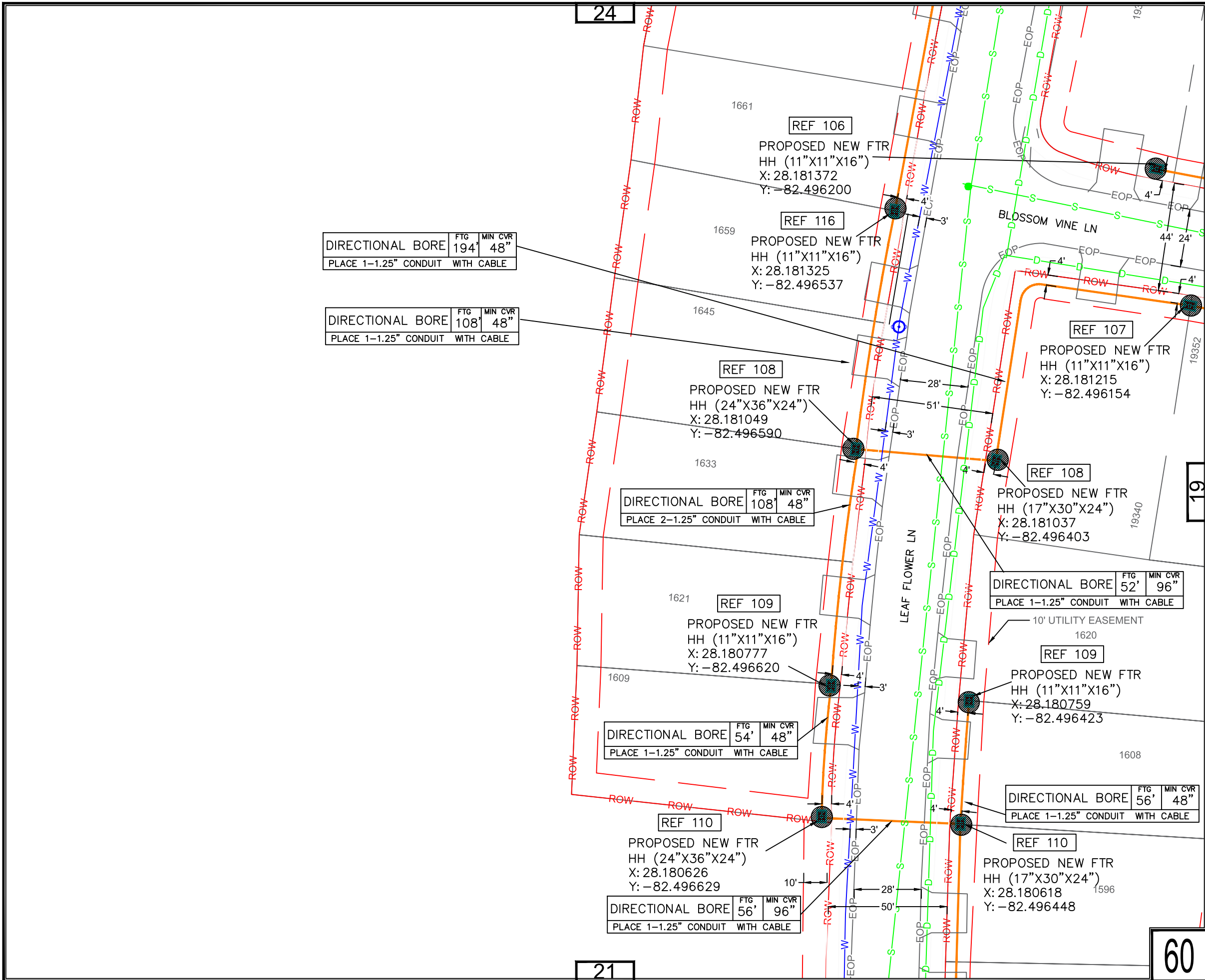
NOTE:
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FROM E/P

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PROJECT NUMBER:	4179006	C.O. AREA:	LUTZ
		EXCH. CODE:	LUTZFLXA
DRAWN DATE:	15-09-2022	ENGR:	EARL DOWDY
		PHONE:	8133264135
SCALE:		CNTY:	PASCO
		FILE:	CROSS SECTION 4179006.DWG
TWNSHP:	###	TAX DISTRICT:	DWG 62 OF 92
		RNG:	###
		SEC:	###



ROW-2023-00078

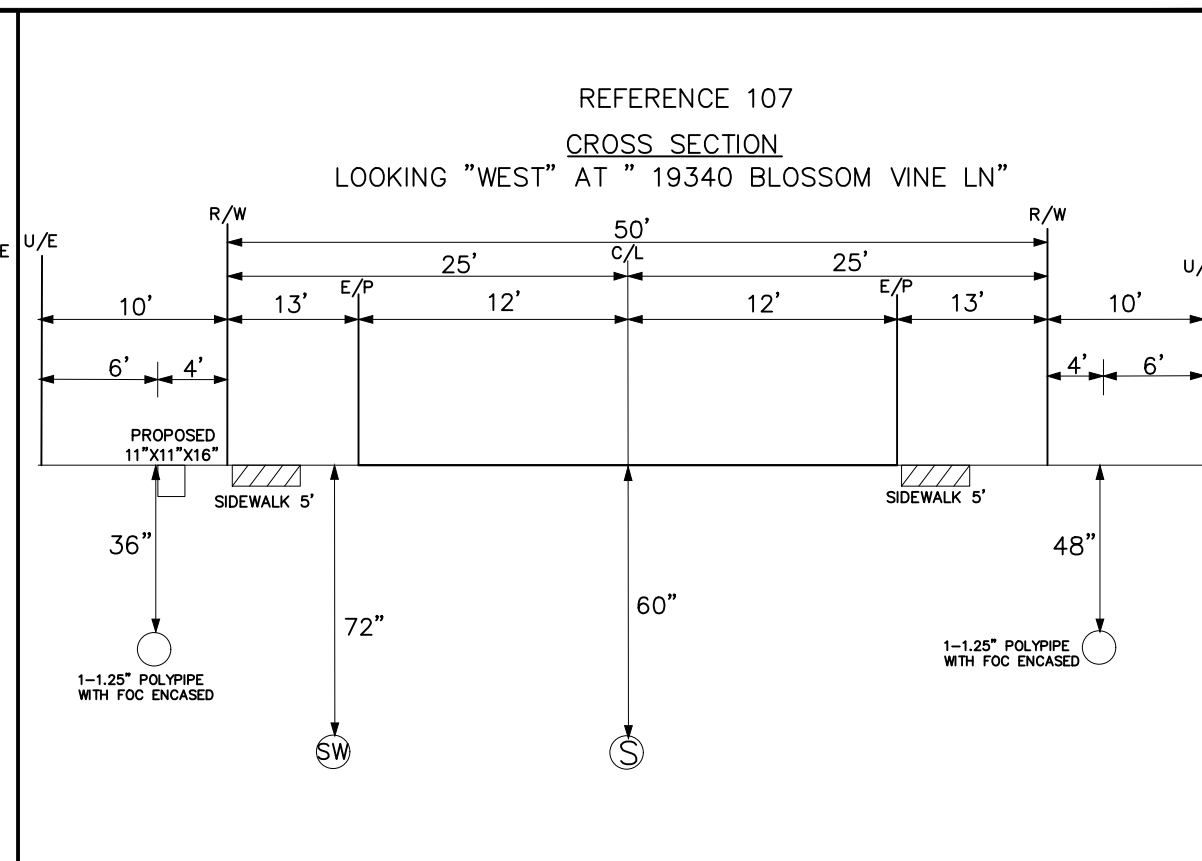
NOTE:
FOR ALL HATCHED AREAS:
REFER TO FDOT TEMPORARY
EROSION AND SEDIMENT
CONTROL INDEX NO.102

UNITS / ACCT CODES	

REVISIONS		

PLACE PATH, CABLES, AND TERMINALS
LONG LAKE RANCH PARK AREA

PROJECT NUMBER: 4179006	C.O. AREA: LUTZFLXA
DRAWN DATE: 1/20/2022	ENGR: EARL DOWDY
SCALE: .	PHONE: 813-326-4135
TWNSHP: --	RNG: --
CNTY: PASCO	FILE: 4179006 DUCT.DWG
TAX DISTRICT: ---	DWG 63 OF 92
SEC: --	



REFERENCE 108

CROSS SECTION

LOOKING "NORTH" AT " 1633 LEAF FLOWER LN"

U/E

R/W

50'

25'

25'

10'

11'

11'

10'

6'

4'

3'

PROPOSED 24"x36"x24"

SIDEWALK 5'

36"

2-1.25" POLYPIPE WITH FOC ENCASED

40"

W

60"

96"

S

72"

SW

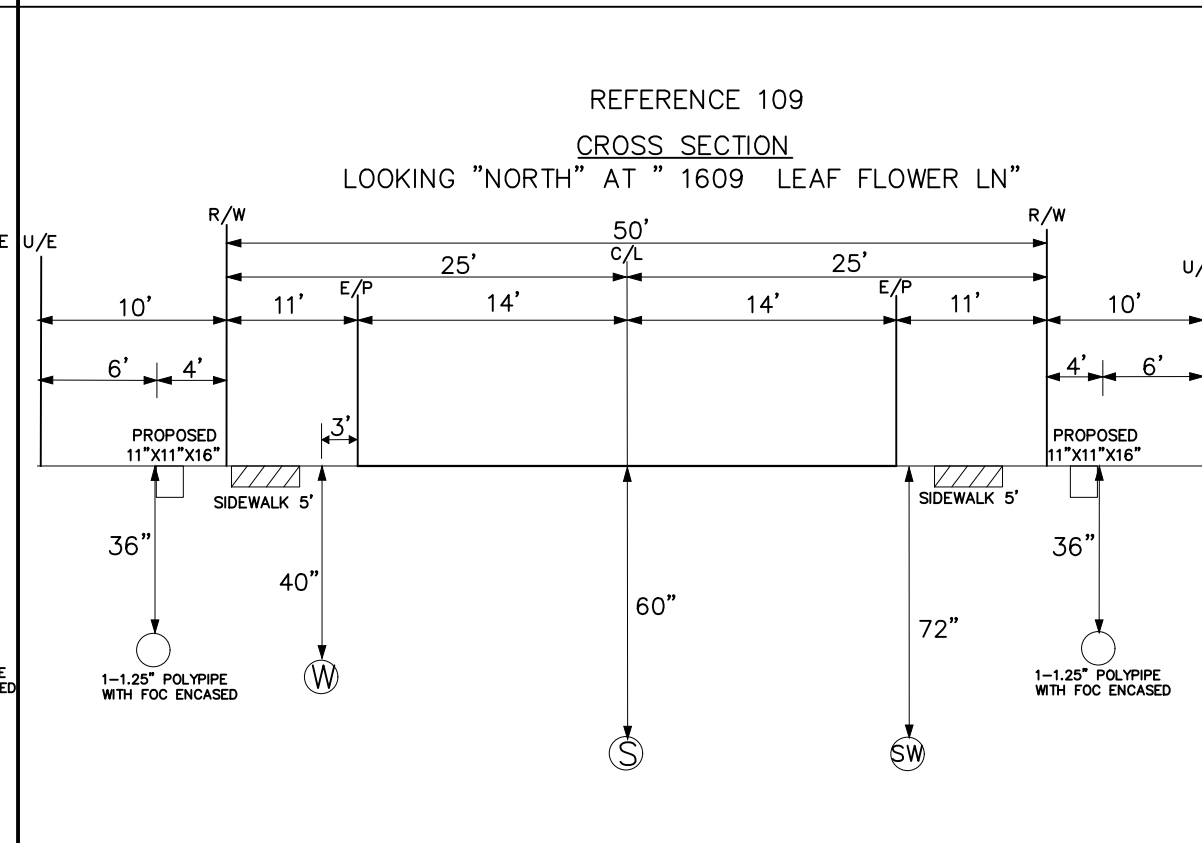
PROPOSED 17"x30"x24"

SIDEWALK 5'

36"

1-1.25" POLYPIPE WITH FOC ENCASED


1-1.25" POLYPIPE WITH FOC ENCASED



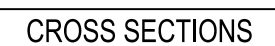
NOTE:
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LOCATE PRIOR TO
CONSTRUCTION

NOTE:
G—GAS
W—WATER
P—POWER
S—SEWER

ROW-2023-00078					
UNITS / ACCT CODES					
REVISIONS					
<div></div>					
CROSS SECTIONS					
####					
PROJECT NUMBER:		4179006		C.O. AREA: LUTZ EXCH. CODE: LUTZFLXA	
DRAWN DATE: 15-09-2022		ENGR: EARL DOWDY PHONE: 8133264135		CNTY: PASCO FILE: CROSS SECTION 4179006.DWG	
SCALE: #####		TAX DISTRICT:		DWG 64 OF 92	
TWNSHP: ###		RNG: ###		SEC: ###	

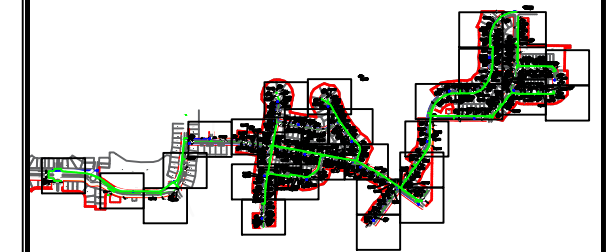
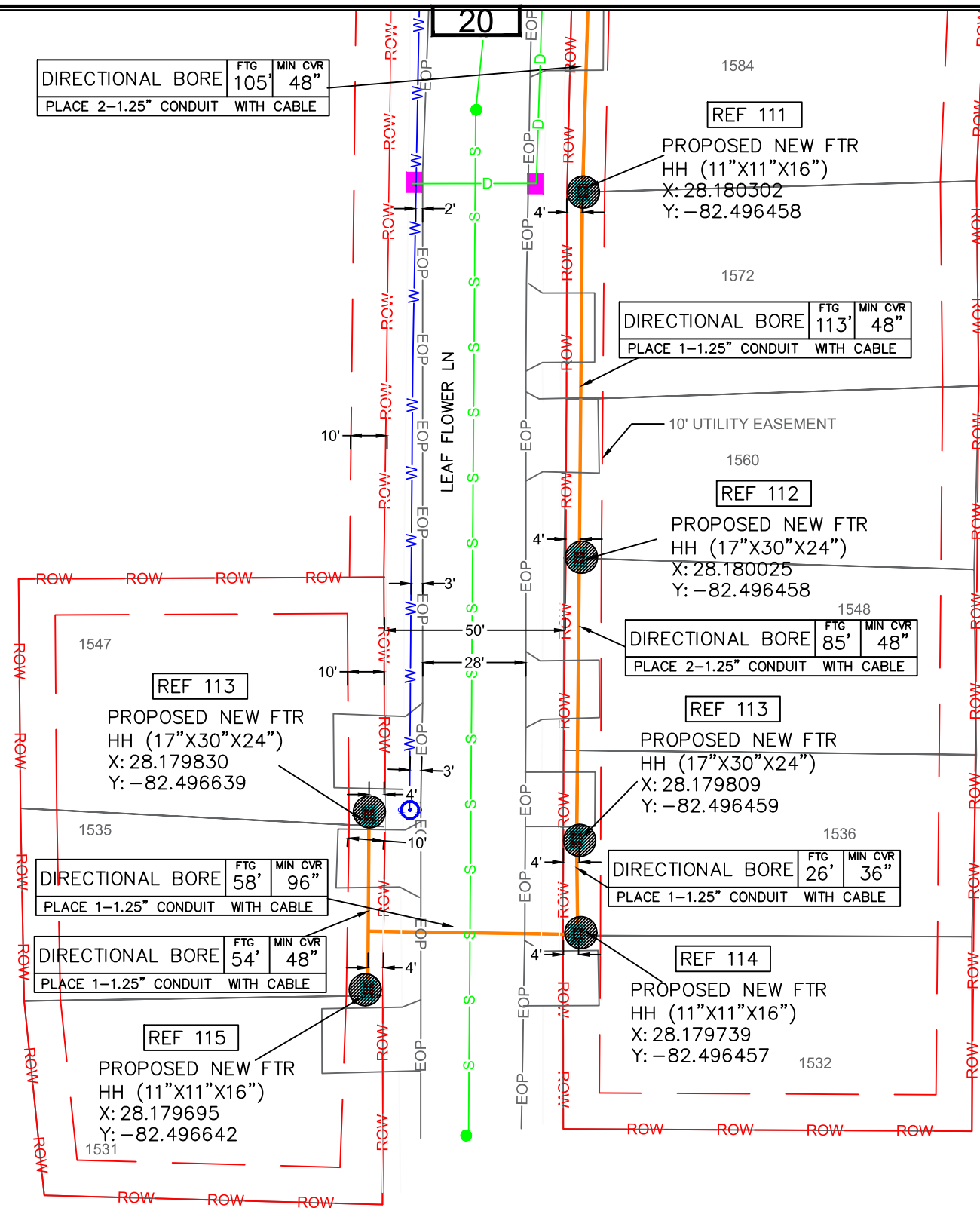
[illegible][illegible]



PROJECT NUMBER: 4179006		C.O. AREA: LUTZ	
		EXCH. CODE: LUTZFLXA	
DRAWN DATE: 15-09-2022	ENGR: EARL DOWDY PHONE: 8133264135	CNTY: PASCO FILE: CROSS SECTION 4179006.DWG	
SCALE:	TAX DISTRICT:	DWG 65 OF 92	
TWNSHP: ####	RNG: ####	SEC: ####	

NOTE:
ALL UTILITIES NOT
SHOWN IN R/W WILL
BE LOCATED PRIOR TO
CONSTRUCTION

NOTE:
G—GAS
W—WATER
P—POWER
S—SEWER



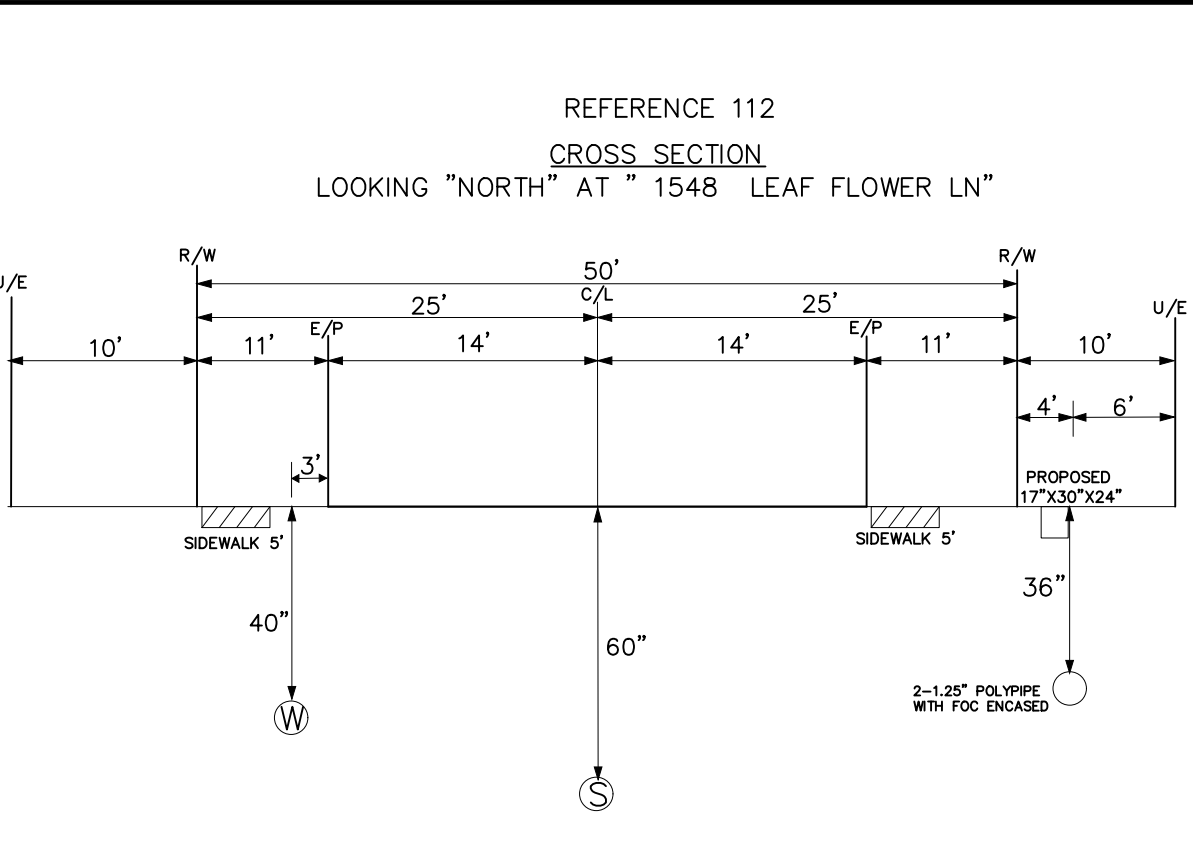
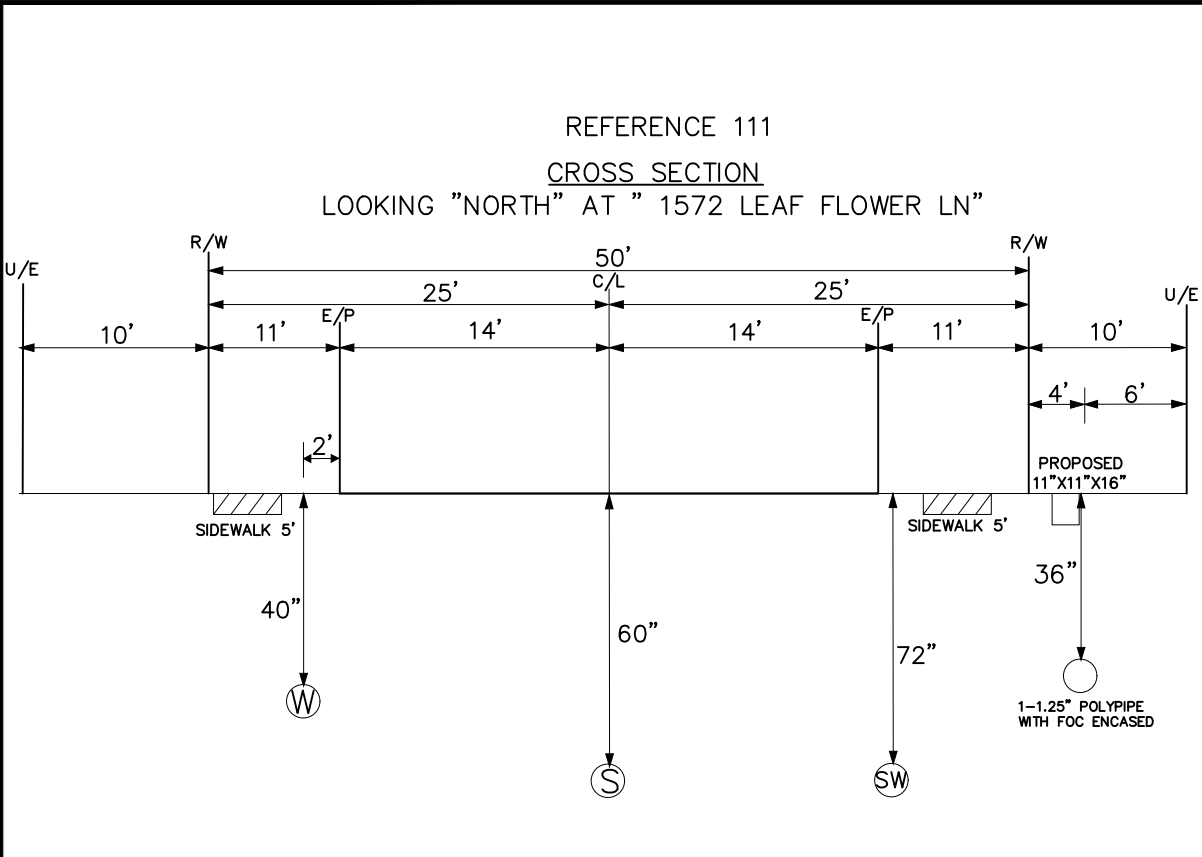
ROW-2023-00078

NOTE:
FOR ALL HATCHED AREAS:
REFER TO FDOT TEMPORARY
EROSION AND SEDIMENT
CONTROL INDEX NO.102

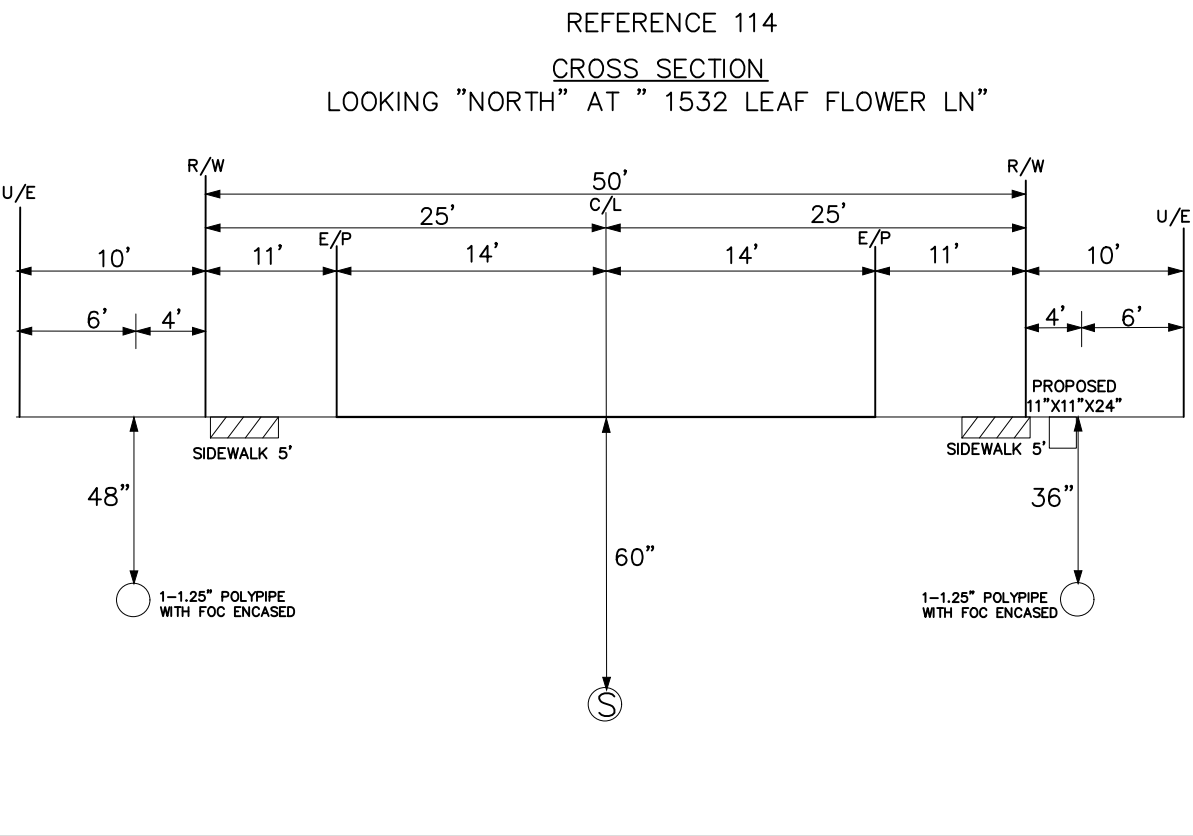
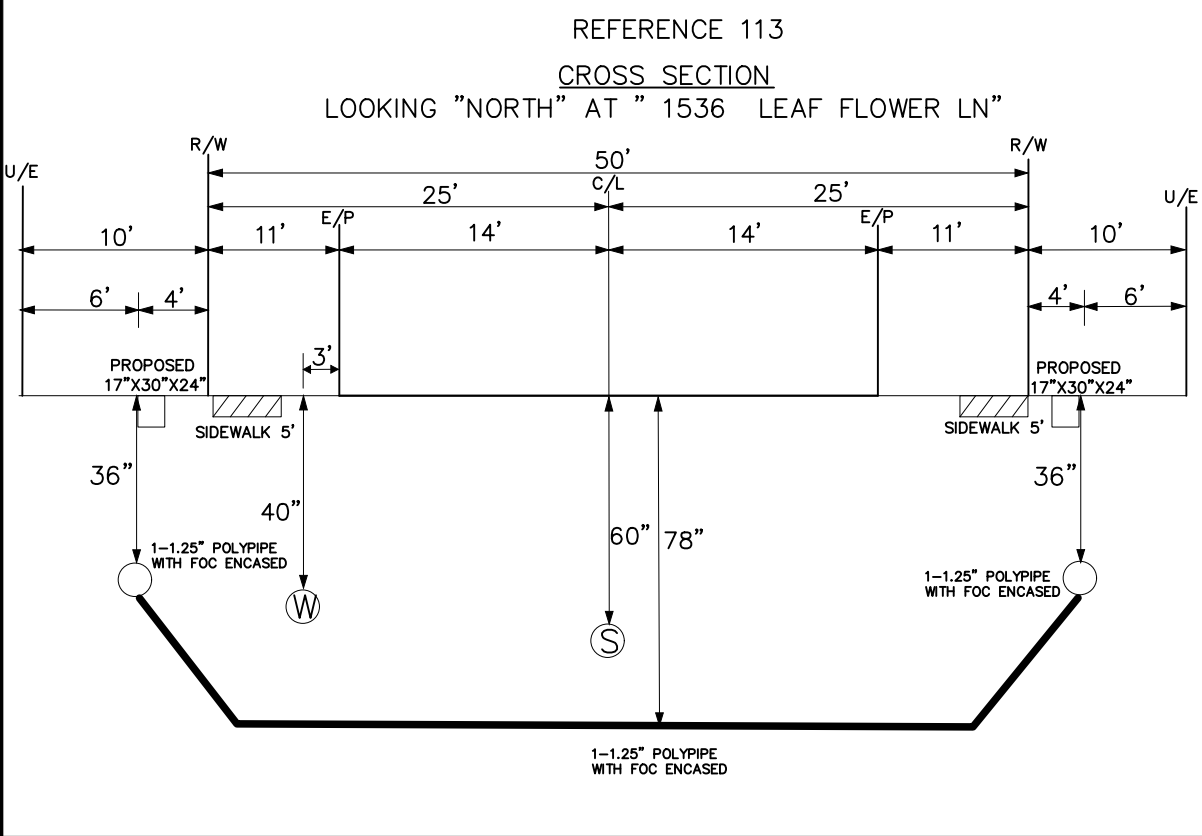
[illegible]

PLACE PATH, CABLES, AND TERMINALS
LONG LAKE RANCH PARK AREA

PROJECT NUMBER: 4179006		C.O. AREA: LUTZFLXA EXCH. CODE: LUTZ	
DRAWN DATE: 1/20/2022	ENGR: EARL DOWDY PHONE: 813-326-4135	CNTY: PASCO FILE: 4179006 DUCT.DWG	
SCALE: .	TAX DISTRICT: ---	DWG 66 OF 92	
TWNSHP: ---	RNG: ---	SEC: ---	



ROW-2023-00078



UNITS / ACCT CODES

REVISIONS



CROSS SECTIONS

####

NOTE:
ALL BORES WILL AND
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FROM E/P

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PROJECT NUMBER:	4179006	C.O. AREA:	LUTZ
		EXCH. CODE:	LUTZFLXA
DRAWN DATE:	15-09-2022	ENGR:	EARL DOWDY
		PHONE:	8133264135
SCALE:		CNTY:	PASCO
		FILE:	CROSS SECTION 4179006.DWG
TWNHP:	###	TAX DISTRICT:	DWG 67 OF 92
		RNG:	###
		SEC:	###

REFERENCE 115

CROSS SECTION

LOOKING "NORTH" AT " 1531 LEAF FLOWER LN"

U/E

R/W

50'

25'

25'

10'

11'

E/P

14'

C/L

14'

E/P

11'

10'

U/E

6'

4'

PROPOSED 11"X11"X16"

SIDEWALK 5'

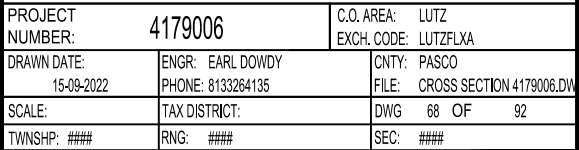
36"

1-1.25" POLYPIPE WITH FOC ENCASED

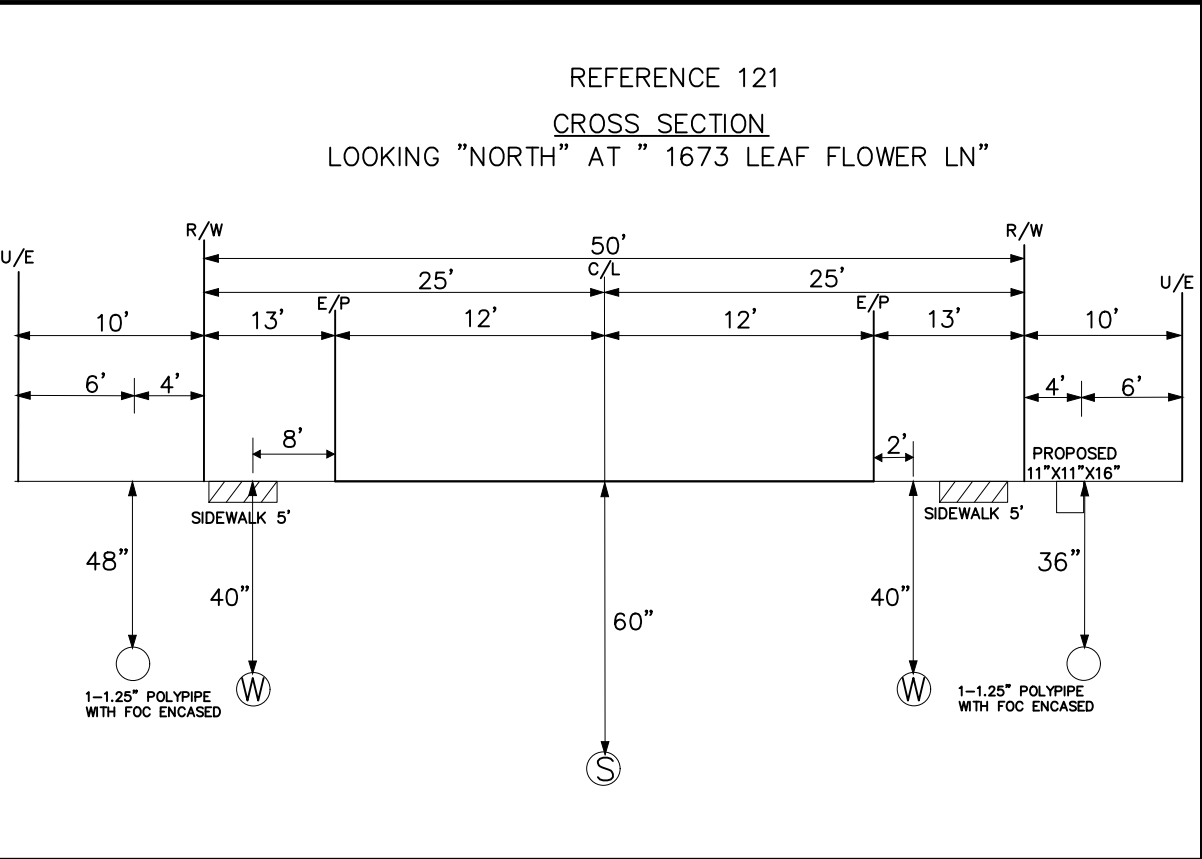
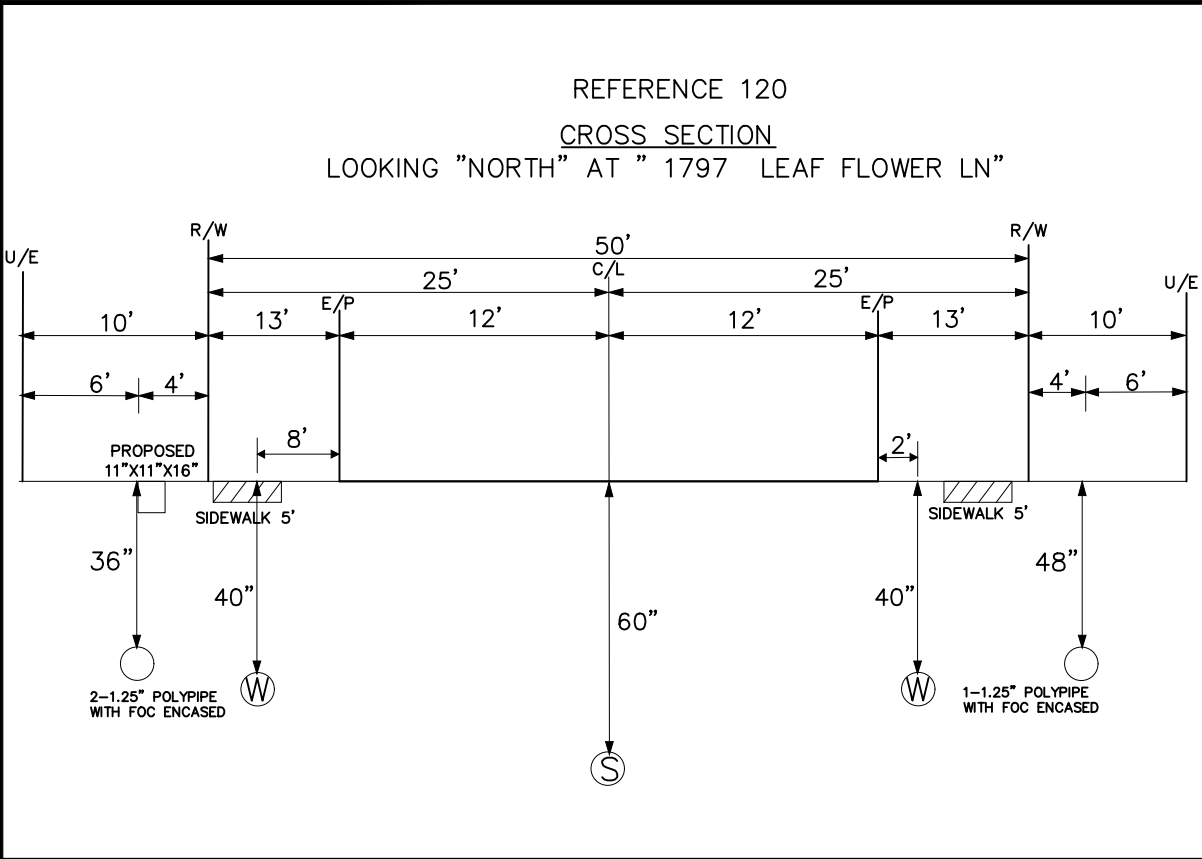
60"

S

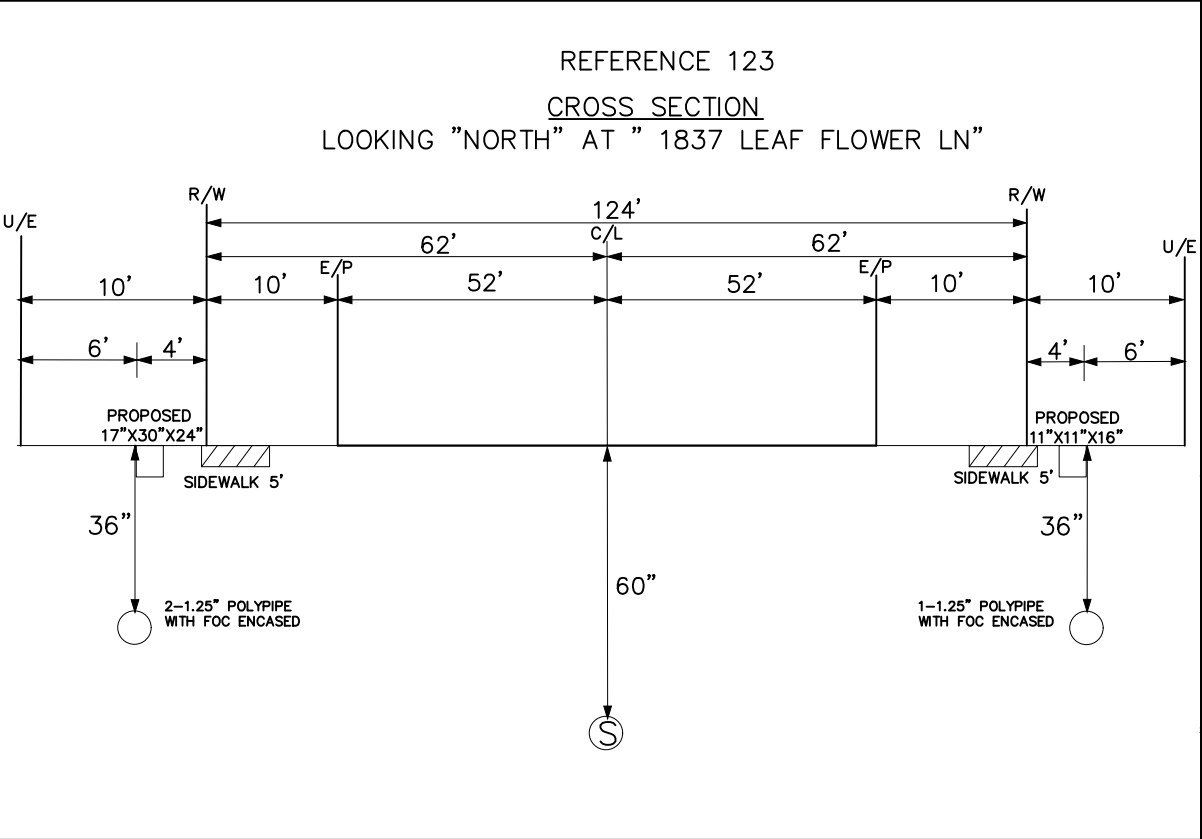
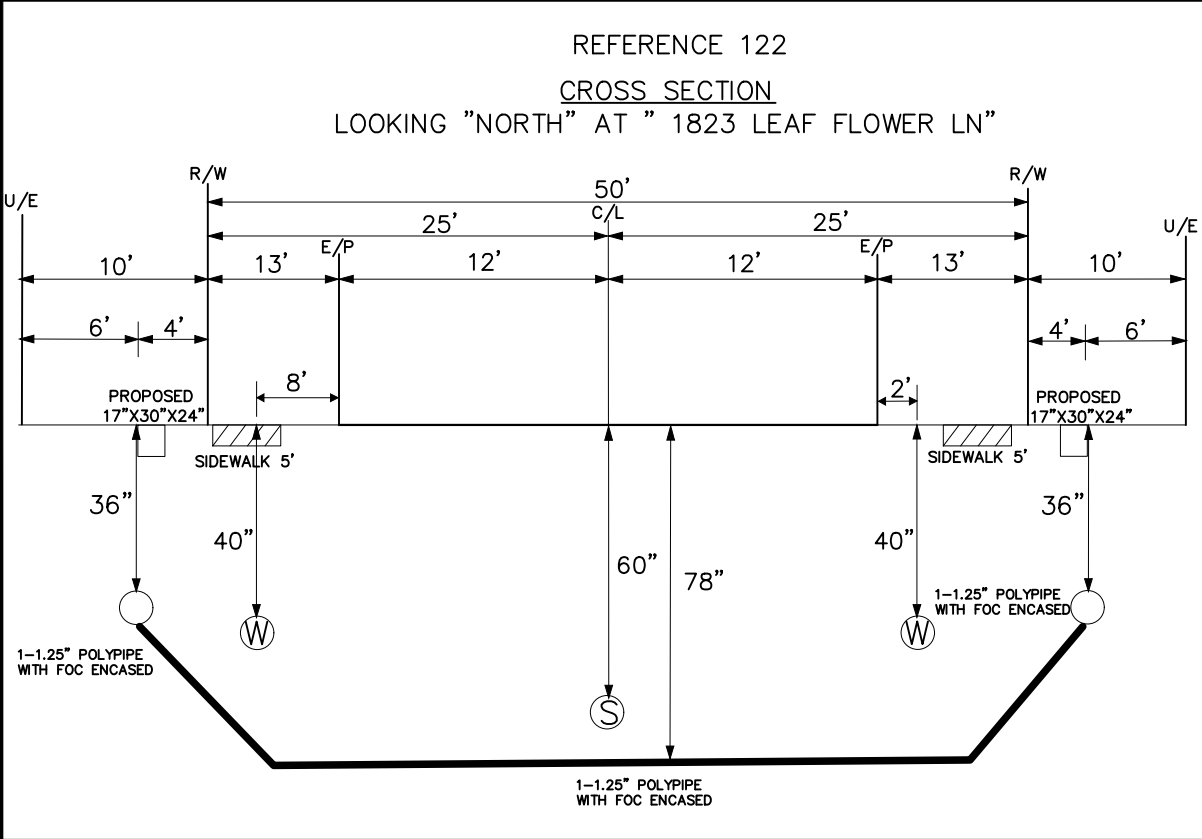
[illegible]



NOTE:
G—GAS
W—WATER
P—POWER
S—SEWER



ROW-2023-00078



UNITS / ACCT CODES

REVISIONS



CROSS SECTIONS

####

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CONSTRUCTION

NOTE:
G-GAS
W-WATER
P-POWER
S-SEWER

PROJECT NUMBER:	4179006	C.O. AREA:	LUTZ
		EXCH. CODE:	LUTZFLXA
DRAWN DATE:	15-09-2022	ENGR:	EARL DOWDY
		PHONE:	8133264135
SCALE:	DWG 70 OF 92	CNTY:	PASCO
		FILE:	CROSS SECTION 4179006.DWG
TWNHP: ###	RNG: ###	TAX DISTRICT:	
		DWG	
		SEC:	###

[illegible]**UNITS / ACCT CODES**[illegible]



PROJECT NUMBER: 4179006		C.O. AREA: LUTZ EXCH. CODE: LUTZFLXA	
DRAWN DATE: 15-09-2022	ENGR: EARL DOWDY PHONE: 8133264135	CNTY: PASCO FILE: CROSS SECTION 4179006.DWG	
SCALE:	TAX DISTRICT:	DWG 71 OF 92	
TWNSHP: ###	RNG: ###	SEC: ###	

NOTE:
G—GAS
W—WATER
P—POWER
S—SEWER

REFERENCE 125

CROSS SECTION

LOOKING "EAST" AT " 19360 ROSEMOOR AVE"

U/E

R/W

50'

C/L

25'

23'

10'

13'

E/P

12'

12'

E/P

13'

10'

U/E

2'

SIDEWALK 5'

40"

W

60"

S

SIDEWALK 5'

PROPOSED 11"X11"X16"

36"

1-1.25" POLYPIPE WITH FOC ENCASED

REFERENCE 126

CROSS SECTION

LOOKING "EAST" AT " 19374 ROSEMOOR AVE"

U/E

R/W

50'

25'

25'

10'

13'

E/P

12'

C/L

12'

E/P

13'

R/W

U/E

4'

6'

PROPOSED 17"X30"X24"

SIDEWALK 5'

2'

40"

W

60"

S

36"

2-1.25" POLYPIPE WITH FOC ENCASED

[illegible][illegible]

REFERENCE 128

CROSS SECTION

LOOKING "EAST" AT " 19398 ROSEMOOR AVE"

U/E

R/W

50'

C/L

25'

25'

10'

13'

E/P

12'

12'

E/P

13'

10'

U/E

6'

4'

2'

4'

6'

PROPOSED 11"x11"x16"

SIDEWALK 5'

48"

1-1.25" POLYPIPE WITH FOC ENCASED

40"

W

60"

S

36"

2-1.25" POLYPIPE WITH FOC ENCASED

[illegible]

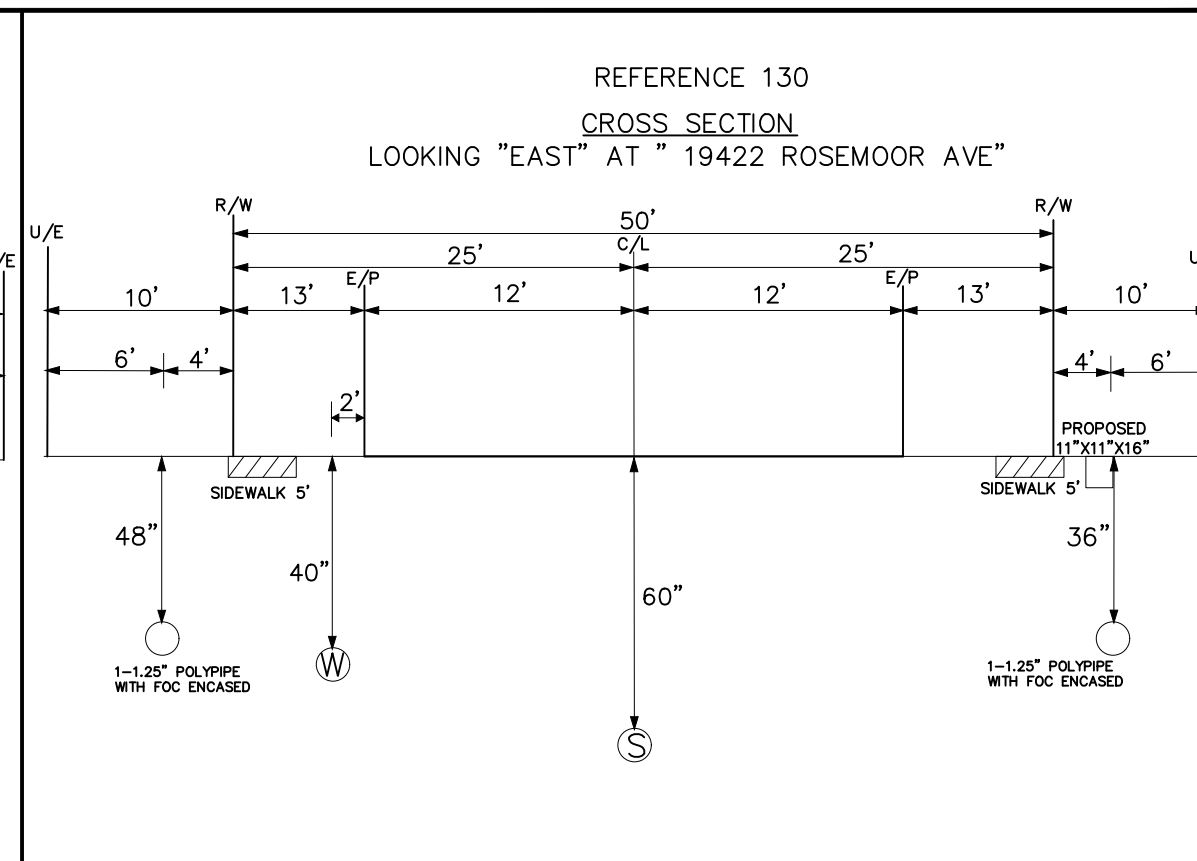
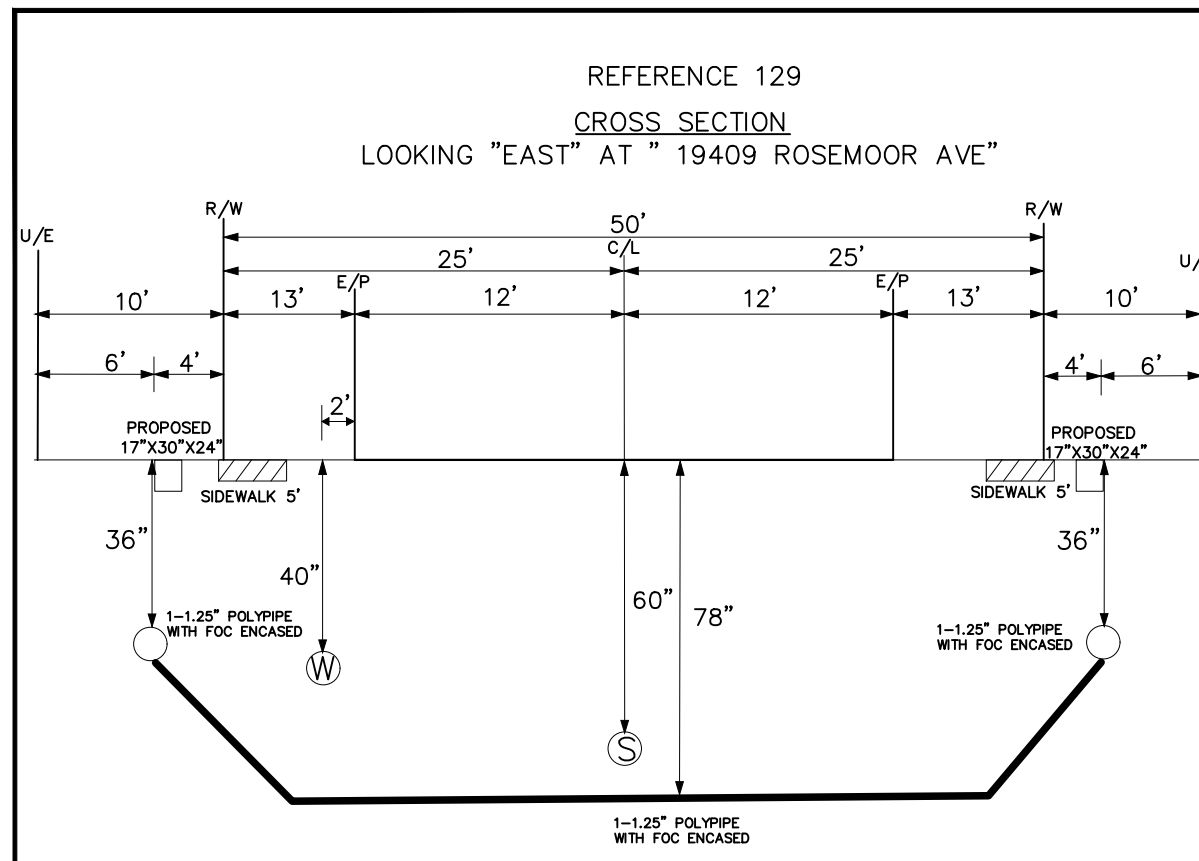
CROSS SECTIONS	
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94	94
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96	96
97	97
98	98
99	99
100	100

PROJECT NUMBER: 4179006		C.O. AREA: LUTZ EXCH. CODE: LUTZFLXA	
DRAWN DATE: 15-09-2022		CNTY: PASCO FILE: CROSS SECTION 4179006.DWG	
ENGR: EARL DOWDY PHONE: 8133264135		DWG: 73 OF 92	
SCALE:		SEC: ###	
TWN5HP: ###		RNG: ###	

NOTE:
ALL UTILITIES NOT
SHOWN IN R/W WILL
BE LOCATED PRIOR TO
CONSTRUCTION

NOTE:
G—GAS
W—WATER
P—POWER
S—SEWER

70



ROW-2023-00078

UNITS / ACCT CODES[illegible]

REVISIONS



CROSS SECTIONS

#####

PROJECT NUMBER: 4179006		C.O. AREA: LUTZ EXCH. CODE: LUTZFLXA	
DRAWN DATE: 15-09-2022	ENGR: EARL DOWDY PHONE: 8133264135	CNTY: PASCO FILE: CROSS SECTION 4179006.DWG	
SCALE:	TAX DISTRICT:	DWG 74 OF 92	
TWNSHP: ###	RNG: ###	SEC: ###	

NOTE:
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END AT A MIN OF 4'
FROM E/P

NOTE:
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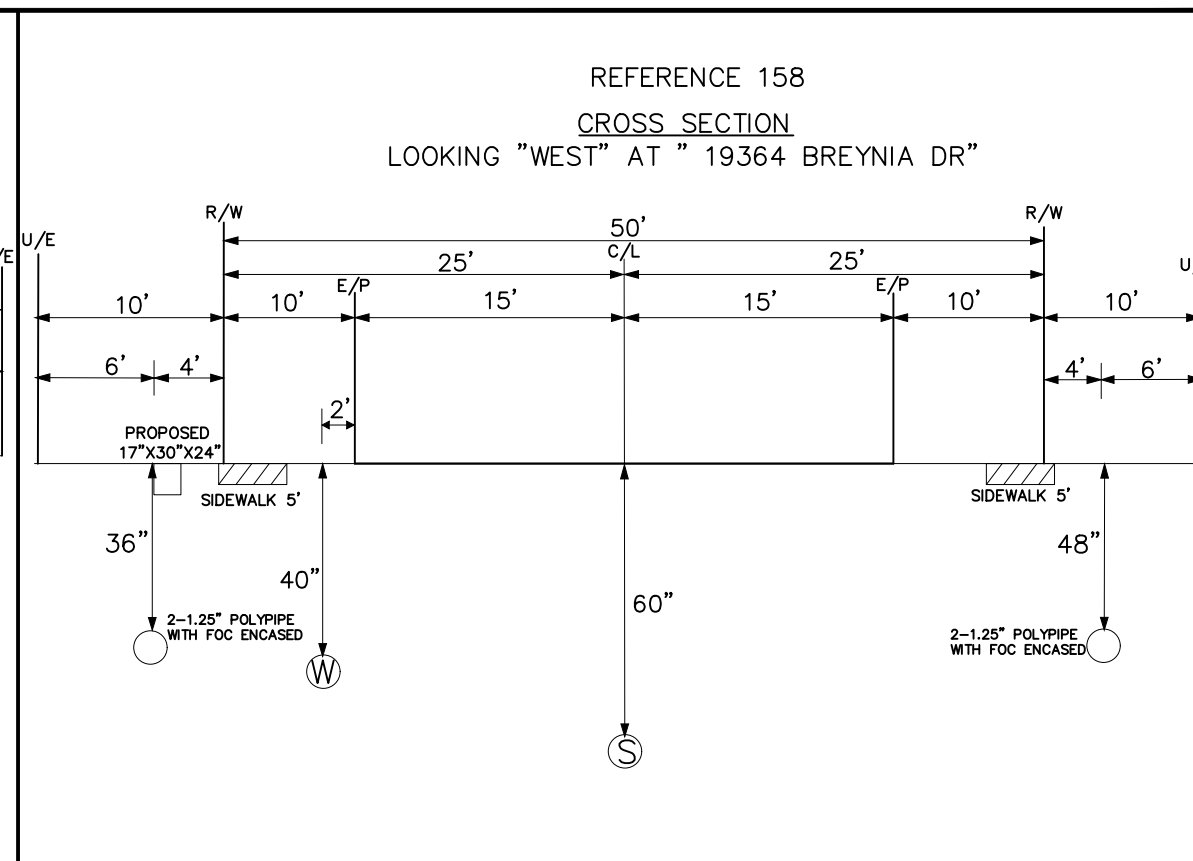
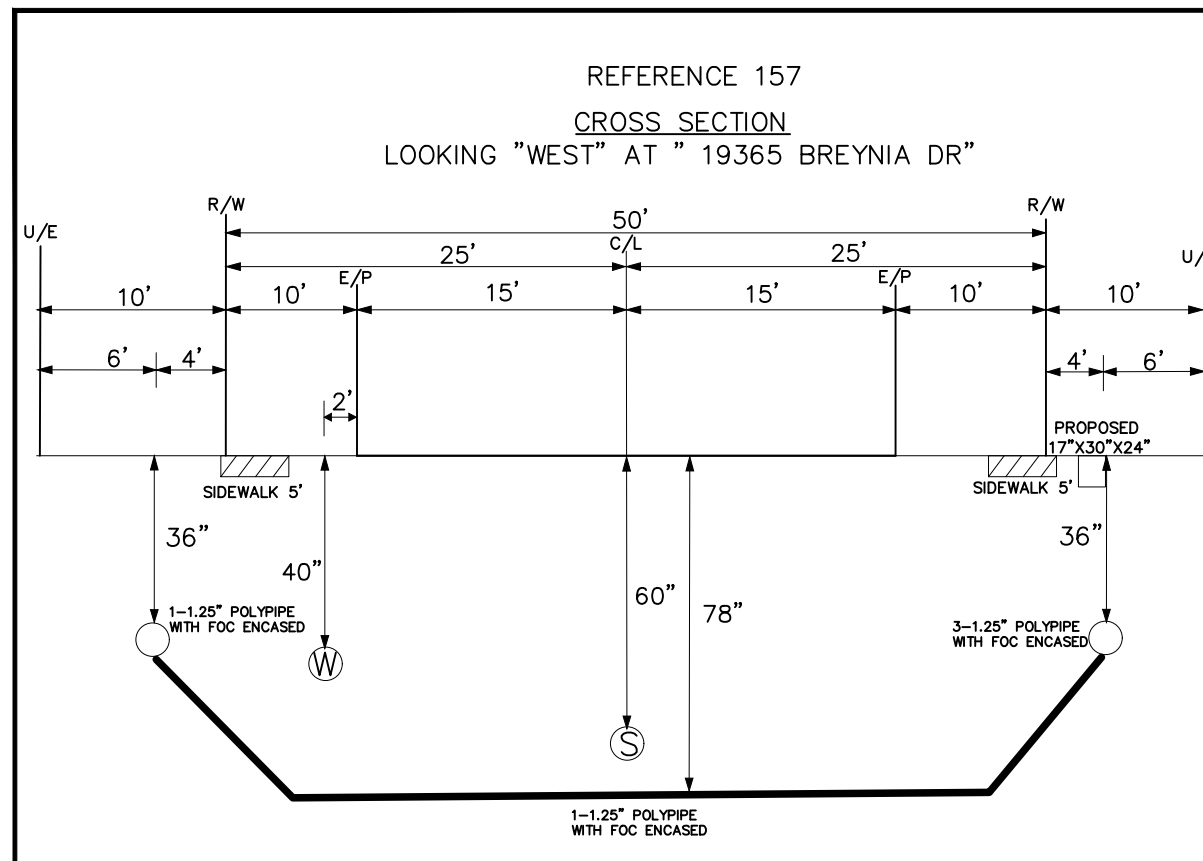
NOTE:
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CONSTRUCTION

NOTE:
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W-WATER
P-POWER
S-SEWER



PROJECT NUMBER: 4179006		C.O. AREA: LUTZ EXCH. CODE: LUTZFLXA	
DRAWN DATE: 15-09-2022		ENGR: EARL DOWDY PHONE: 8133264135	CNTY: PASCO FILE: CROSS SECTION 4179006.DWG
SCALE: TAX DISTRICT:		DWG	75 OF 92
TWN5HP: ####		RNG: ####	SEC: ###

NOTE:
G—GAS
W—WATER
P—POWER
S—SEWER



ROW-2023-00078

UNITS / ACCT CODES[illegible]

REVISIONS



CROSS SECTIONS

#####

PROJECT NUMBER: 4179006		C.O. AREA: LUTZ EXCH. CODE: LUTZFLXA	
DRAWN DATE: 15-09-2022	ENGR: EARL DOWDY PHONE: 8133264135	CNTY: PASCO FILE: CROSS SECTION 4179006.DWG	
SCALE:	TAX DISTRICT:	DWG 78 OF 92	
TWNSHP: ####	RNG: ####	SEC: ####	

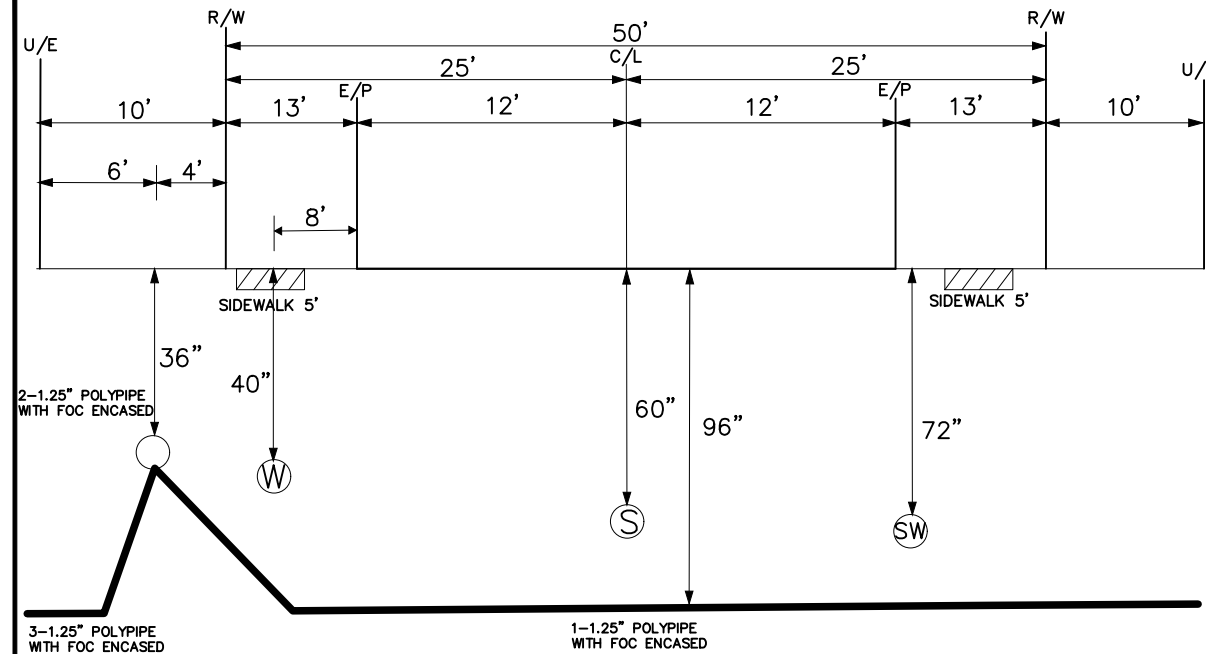
NOTE:
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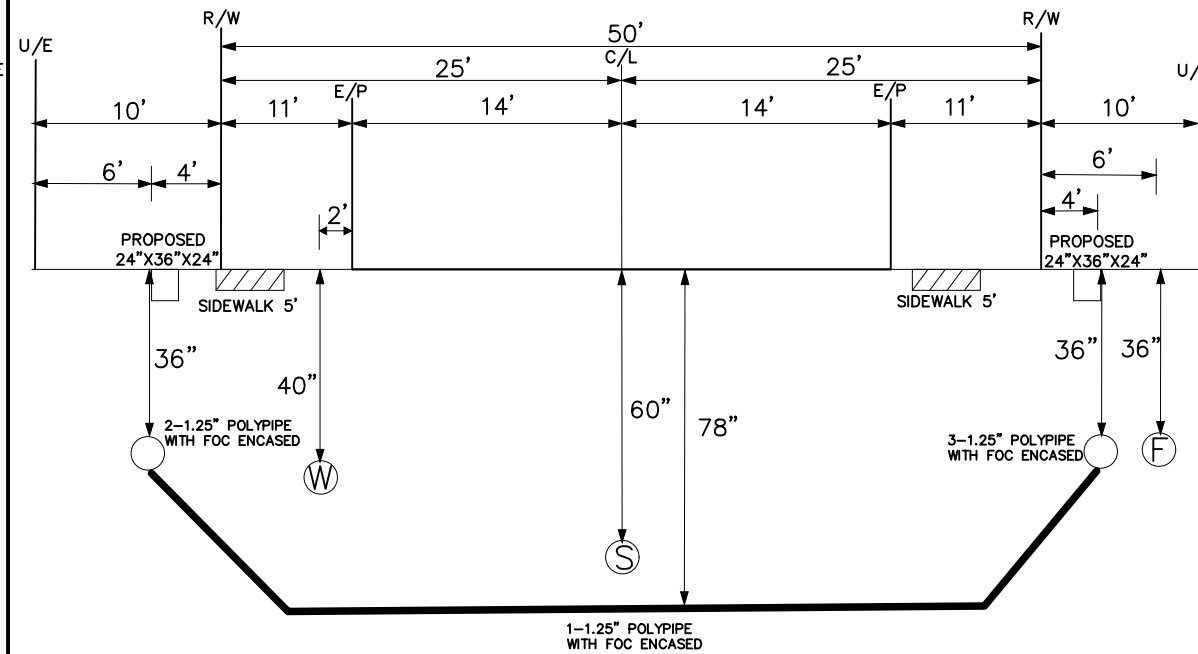
NOTE:
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CONSTRUCTION

NOTE:
G—GAS
W—WATER
P—POWER
S—SEWER

LOOKING "NORTH" AT " 19341 LEAF FLOWER LN"



LOOKING "WEST" AT " 19329 BREYNIA DR"



ROW-2023-00078

UNITS / ACCT CODES[illegible]

REVISIONS



CROSS SECTIONS

#####

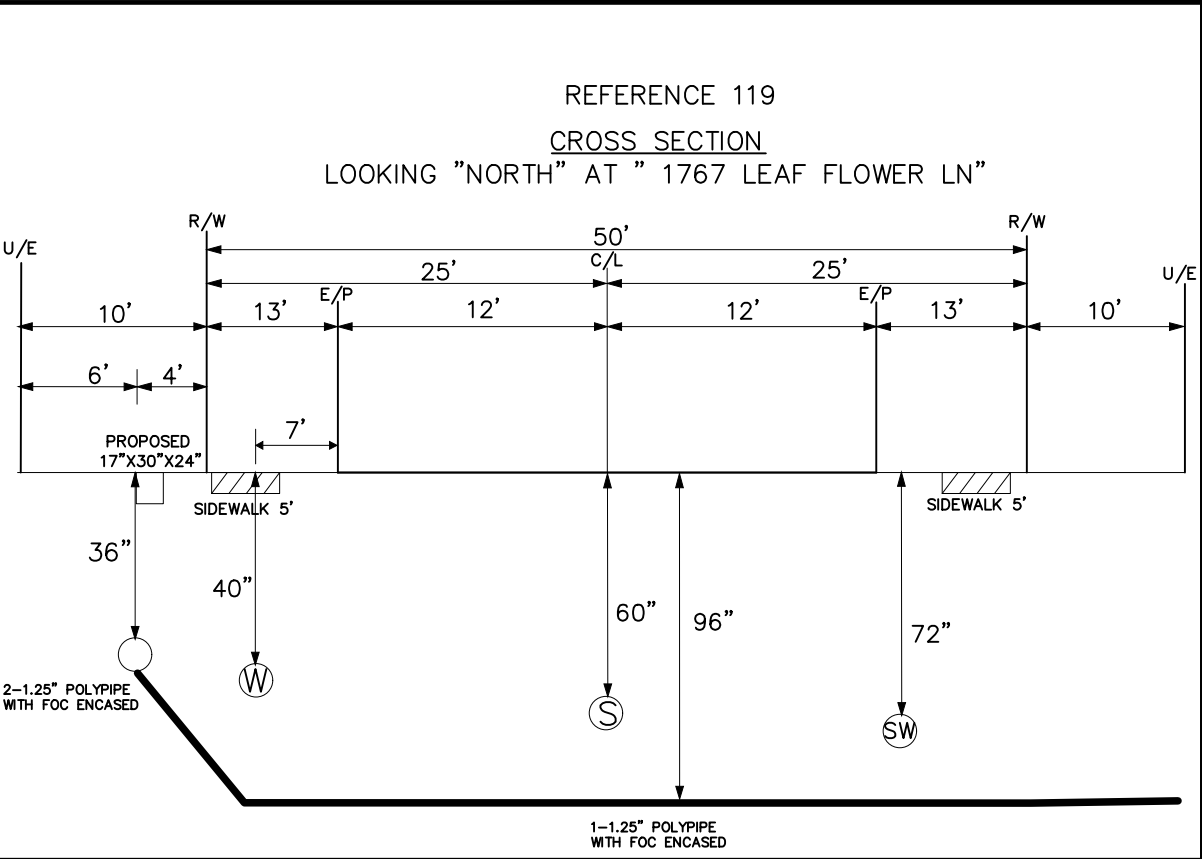
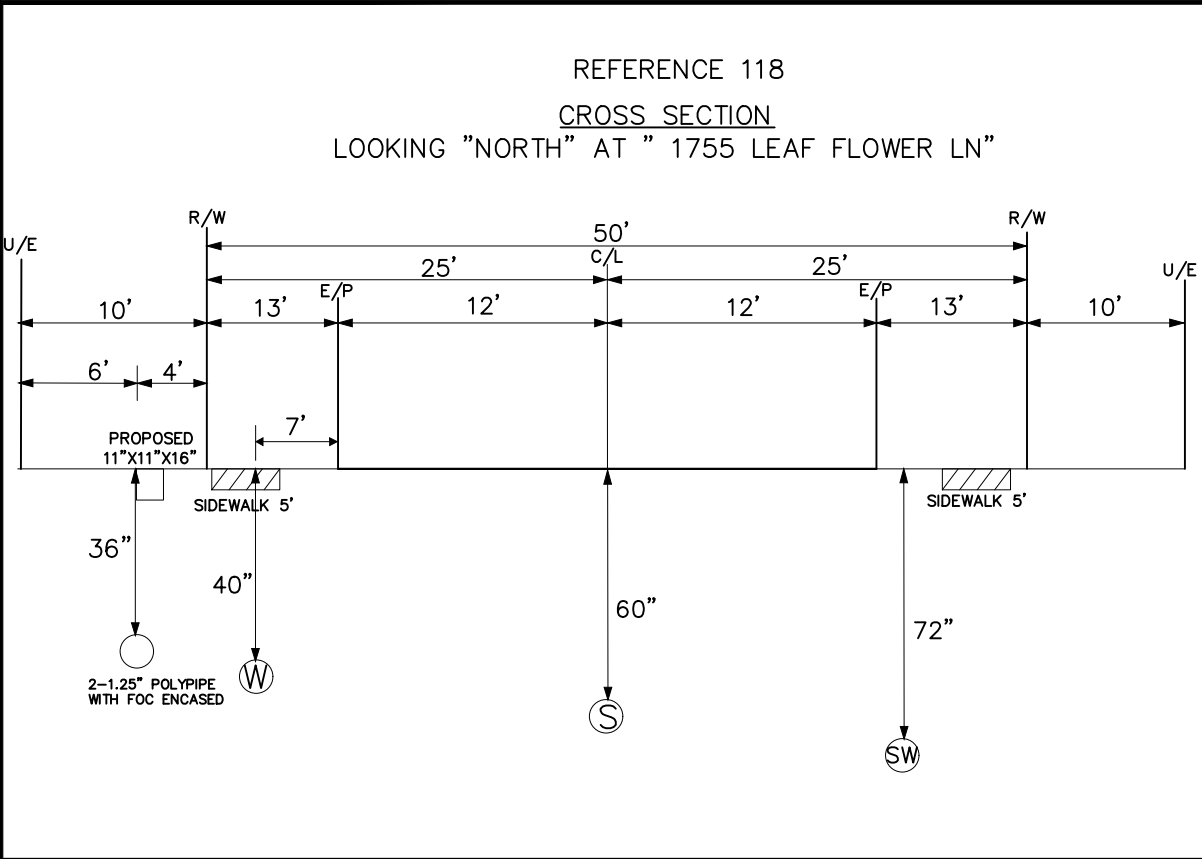
PROJECT NUMBER: 4179006		C.O. AREA: LUTZ EXCH. CODE: LUTZFLXA	
DRAWN DATE: 15-09-2022	ENGR: EARL DOWDY PHONE: 8133264135	CNTY: FILE:	PASCO CROSS SECTION 4179006.DWG
SCALE:	TAX DISTRICT:	DWG	79 OF 92
TWNSHP: ####	RNG: ####	SEC:	

NOTE:
ALL BORES WILL AND
END AT A MIN OF 4'
FROM E/P

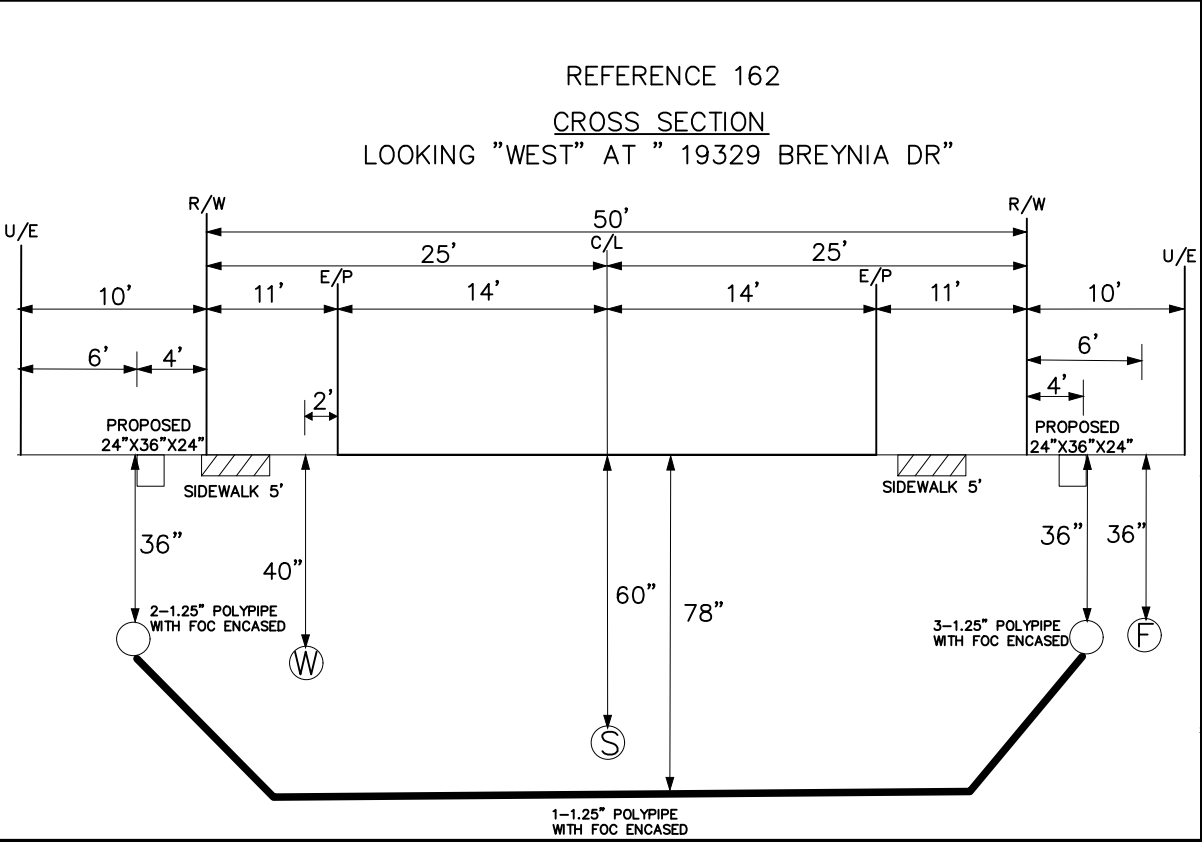
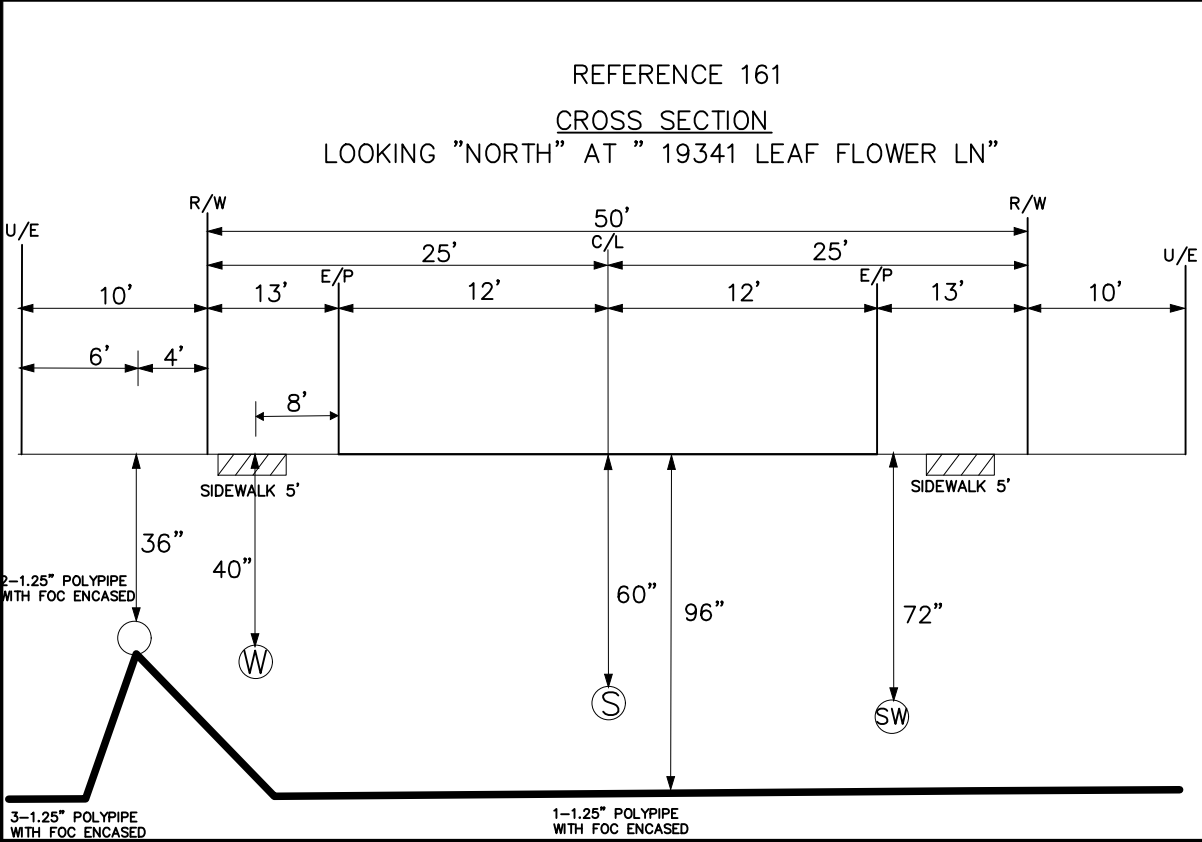
NOTE:
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ROW-2023-00078



UNITS / ACCT CODES

REVISIONS



CROSS SECTIONS

####

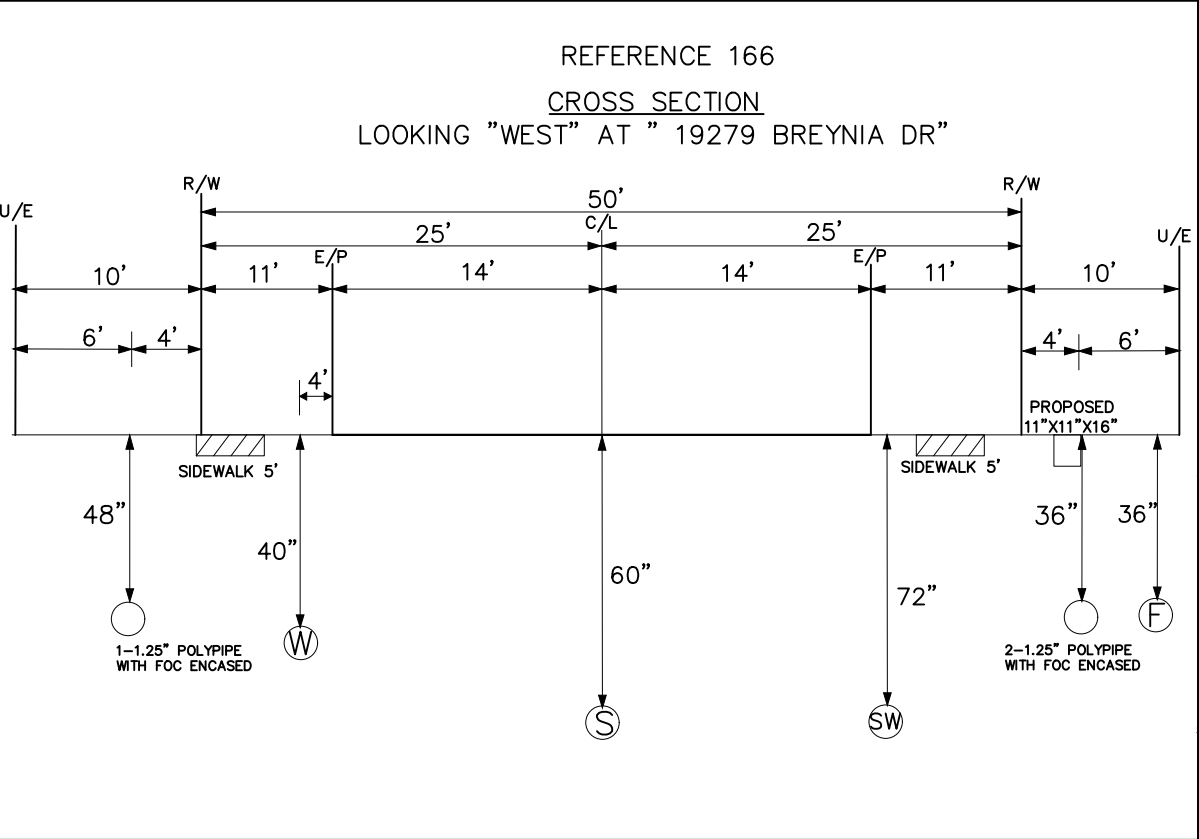
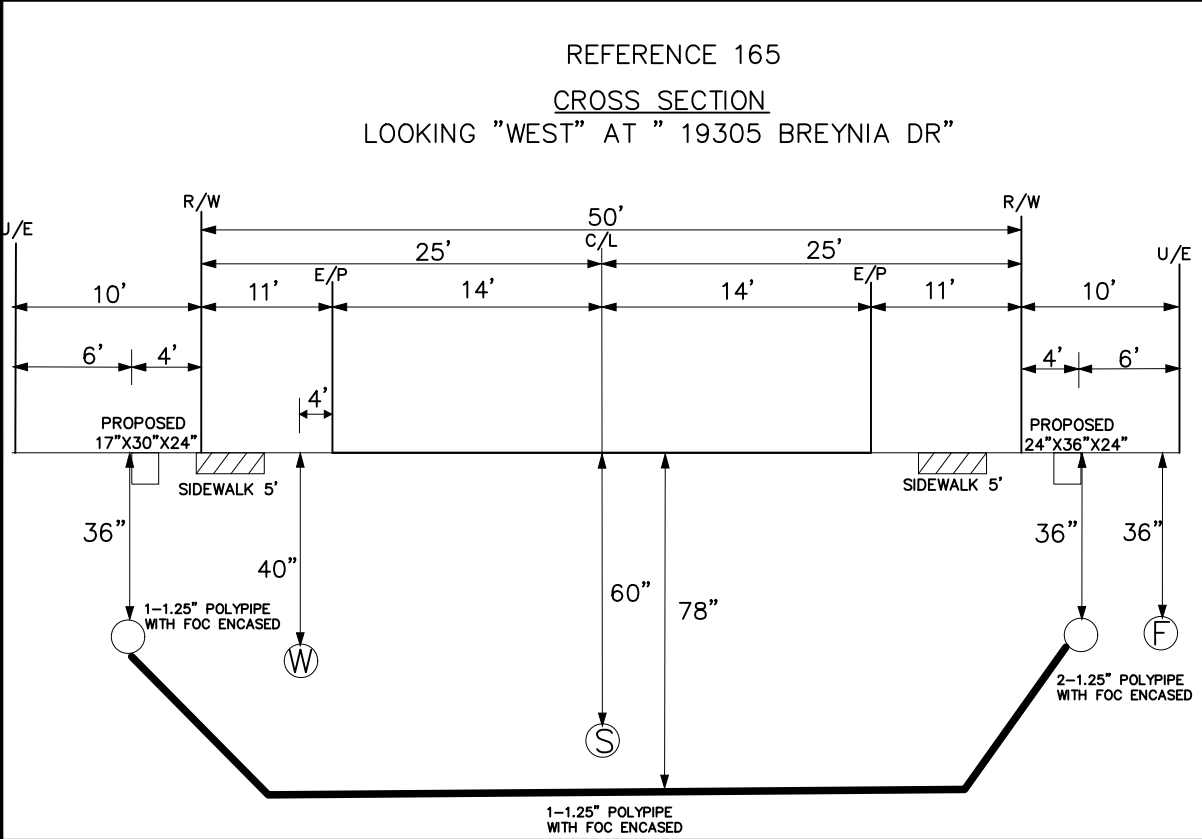
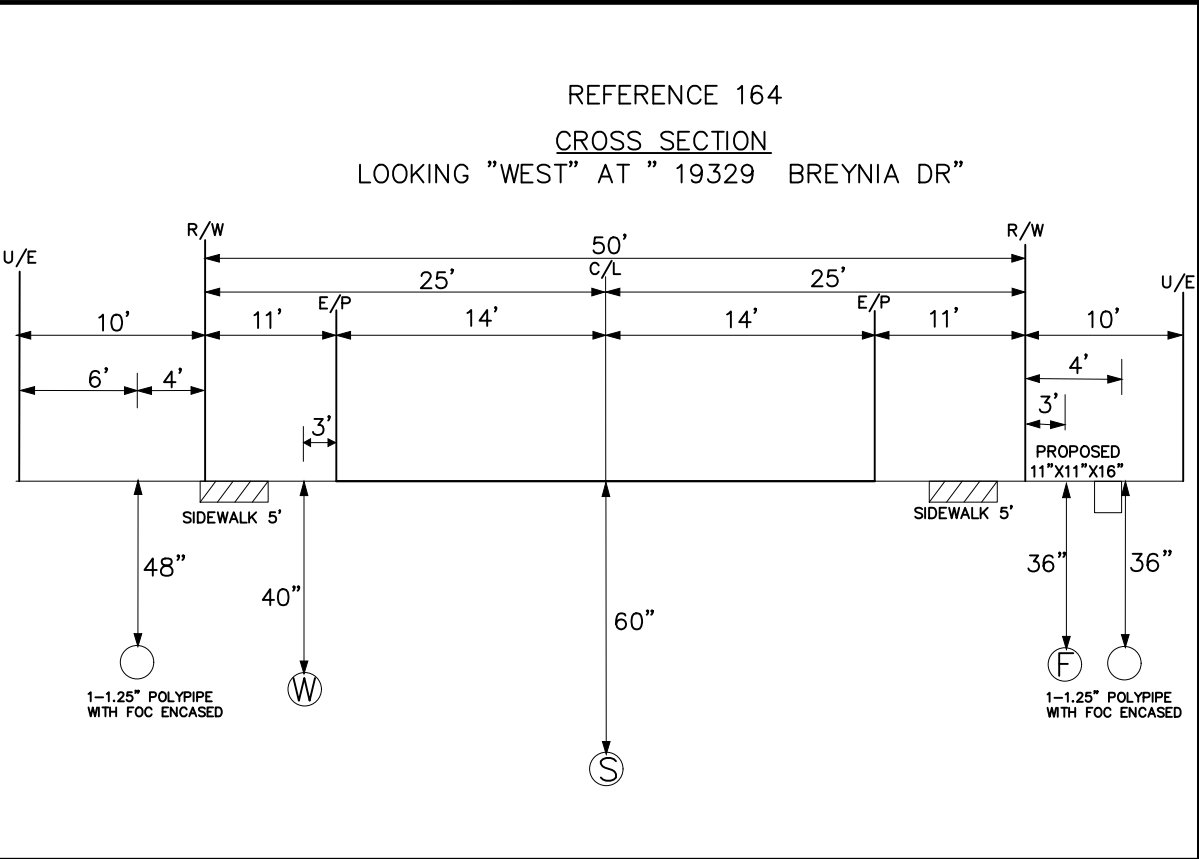
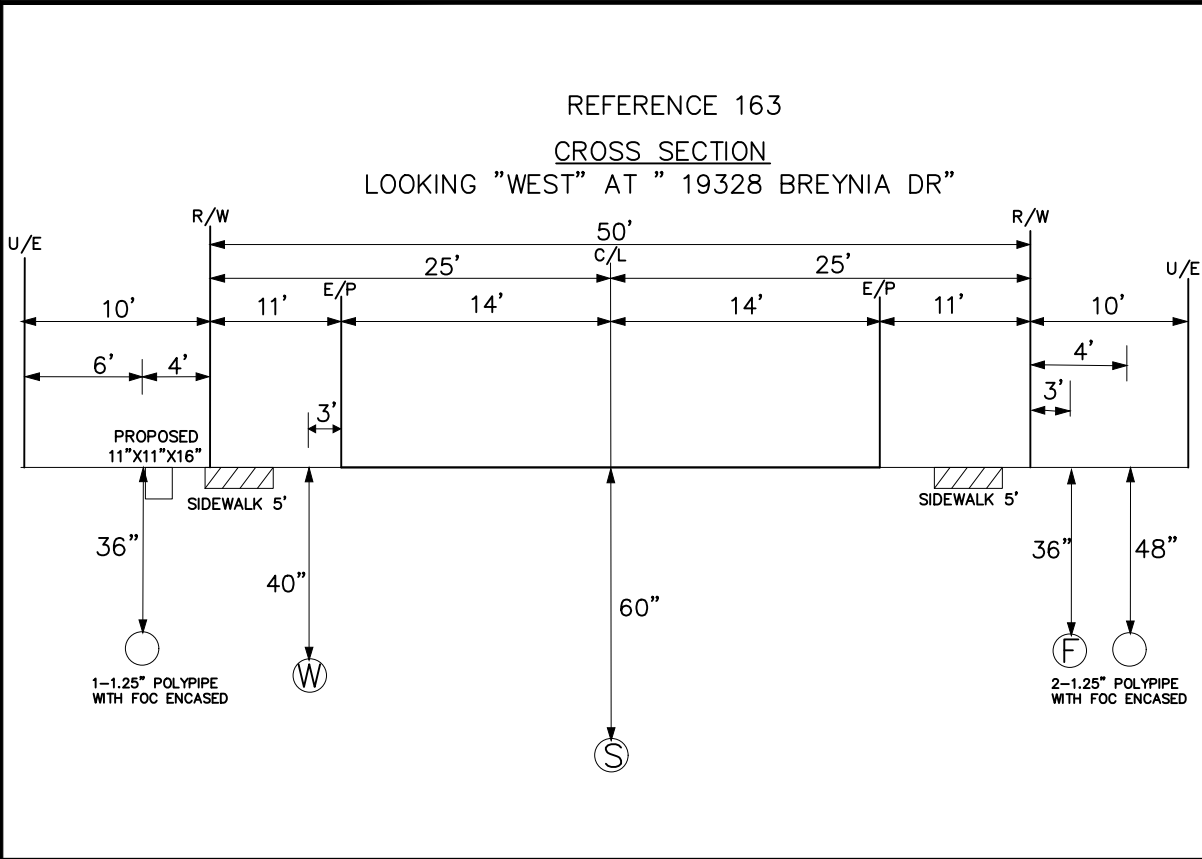
NOTE:
ALL BORES WILL AND
END AT A MIN OF 4'
FROM E/P

NOTE:
ALL UTILITIES NOT
SHOWN IN R/W WILL
BE LOCATED PRIOR TO
CONSTRUCTION

NOTE:
ALL UTILITIES IN AREA
ARE APPROXIMATE
LOCATE PRIOR TO
CONSTRUCTION

NOTE:
G-GAS
W-WATER
P-POWER
S-SEWER

PROJECT NUMBER:	4179006	C.O. AREA:	LUTZ
DRAWN DATE:	15-09-2022	EXCH. CODE:	LUTZFLXA
SCALE:	DWG 81 OF 92	CNTY:	PASCO
TWNSHP:	###	FILE:	CROSS SECTION 4179006.DWG
		TAX DISTRICT:	
		DWG	81 OF 92
		SEC:	###



ROW-2023-00078

UNITS / ACCT CODES

REVISIONS



CROSS SECTIONS

####

NOTE:
ALL BORES WILL AND
END AT A MIN OF 4'
FROM E/P

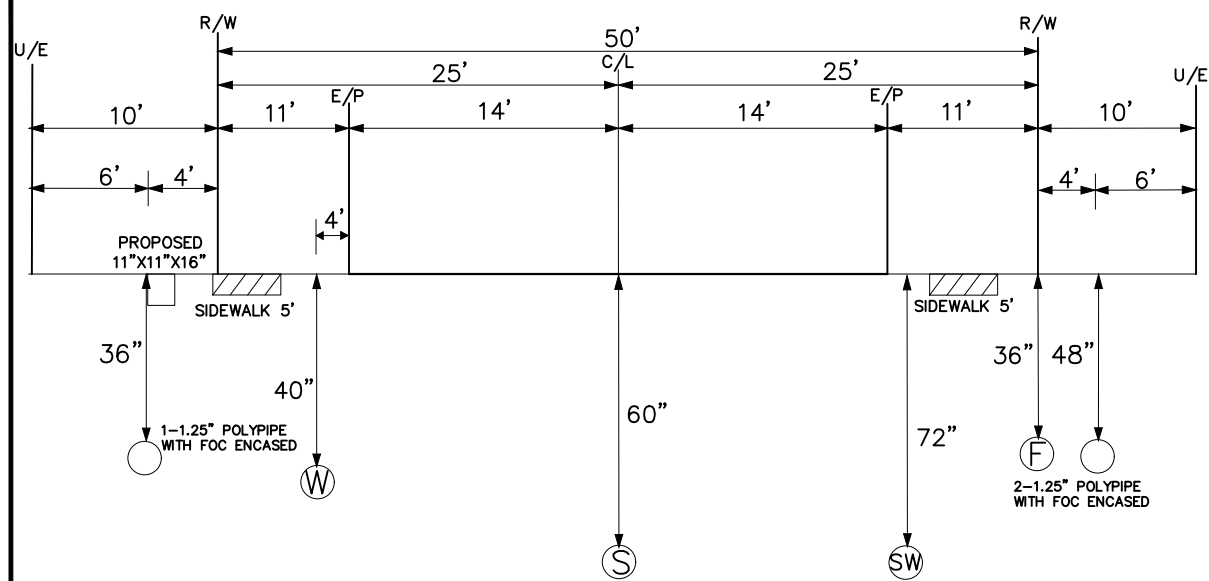
NOTE:
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SHOWN IN R/W WILL
BE LOCATED PRIOR TO
CONSTRUCTION

NOTE:
ALL UTILITIES IN AREA
ARE APPROXIMATE
LOCATE PRIOR TO
CONSTRUCTION

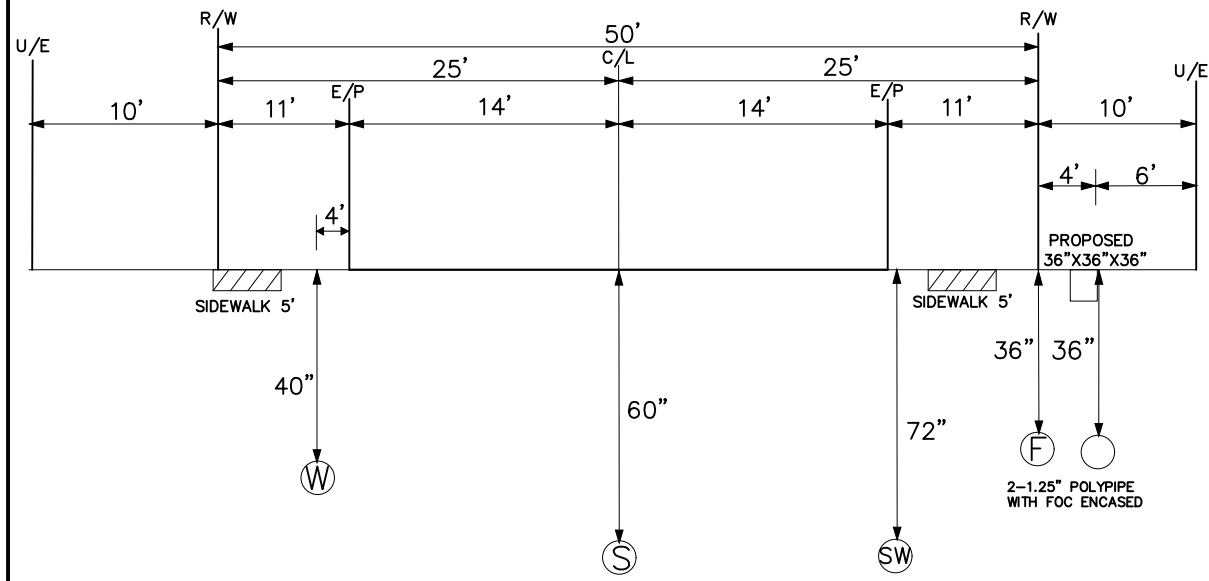
NOTE:
G-GAS
W-WATER
P-POWER
S-SEWER

PROJECT NUMBER:	4179006	C.O. AREA:	LUTZ
		EXCH. CODE:	LUTZFLXA
DRAWN DATE:	15-09-2022	ENGR:	EARL DOWDY
		PHONE:	8133264135
SCALE:	DWG 82 OF 92	CNTY:	PASCO
		FILE:	CROSS SECTION 4179006.DWG
TWNHP:	###	TAX DISTRICT:	
		RNG:	###
		SEC:	###

REFERENCE 167
CROSS SECTION
LOOKING "WEST" AT " 19278 BREYNIA DR"



REFERENCE 168
CROSS SECTION
LOOKING "WEST" AT " 19329 BREYNIA DR"



ROW-2023-00078

UNITS / ACCT CODES

REVISIONS



CROSS SECTIONS

####

PROJECT NUMBER:	4179006	C.O. AREA:	LUTZ
DRAWN DATE:	15-09-2022	EXCH. CODE:	LUTZFLXA
SCALE:		ENGR:	EARL DOWDY
TWNHP: ###		PHONE:	8133264135
		CNTY:	PASCO
		FILE:	CROSS SECTION 4179006.DWG
		TAX DISTRICT:	
		DWG	83 OF 92
		SEC:	###

NOTE:
ALL BORES WILL AND
END AT A MIN OF 4'
FROM E/P

NOTE:
ALL UTILITIES NOT
SHOWN IN R/W WILL
BE LOCATED PRIOR TO
CONSTRUCTION

NOTE:
ALL UTILITIES IN AREA
ARE APPROXIMATE
LOCATE PRIOR TO
CONSTRUCTION

NOTE:
G-GAS
W-WATER
P-POWER
S-SEWER

REFERENCE 169

CROSS SECTION

LOOKING "SOUTH" AT "MOORHEN WA"

The diagram illustrates a cross-section of Moorhen Way, looking south. The road is 50 feet wide at the centerline (C/L). The dimensions are as follows:

- From the left edge (U/E) to the first Right-of-Way (R/W) line: 10 feet.
- From the first R/W line to the first Edge of Pavement (E/P) line: 13 feet.
- From the first E/P line to the centerline (C/L): 12 feet.
- From the centerline (C/L) to the second E/P line: 12 feet.
- From the second E/P line to the second R/W line: 13 feet.
- From the second R/W line to the right edge (U/E): 10 feet.

The total width from the first R/W line to the second R/W line is 25 feet. The total width from the first E/P line to the second E/P line is 24 feet. The total width from the first R/W line to the second R/W line is 50 feet.

Below the road, there are two hatched areas labeled "SIDEWALK 5'". A vertical dimension line indicates a depth of 48 inches for the area below the road.

1-1.25" POLYPIPE
WITH FOC ENCASED

REFERENCE 170

CROSS SECTION

LOOKING "WEST" AT " 19160 BREYNIA DR"

U/E

R/W

50'

25'

25'

11'

11'

14'

14'

E/P

E/P

10'

10'

6'

4'

4'

6'

5'

SIDEWALK 5'

PROPOSED 24"X36"X24"

36"

40"

40"

72"

60"

78"

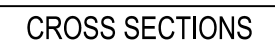
40"

1-1.25" POLYPIPE WITH FOC ENCASED

1-1.25" POLYPIPE WITH FOC ENCASE

UNITS / ACCT CODES	
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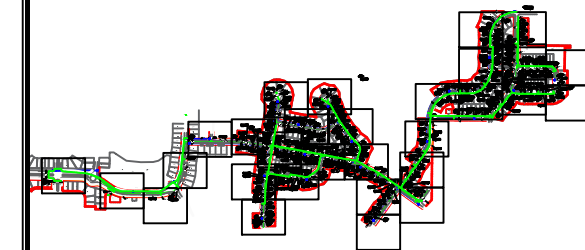
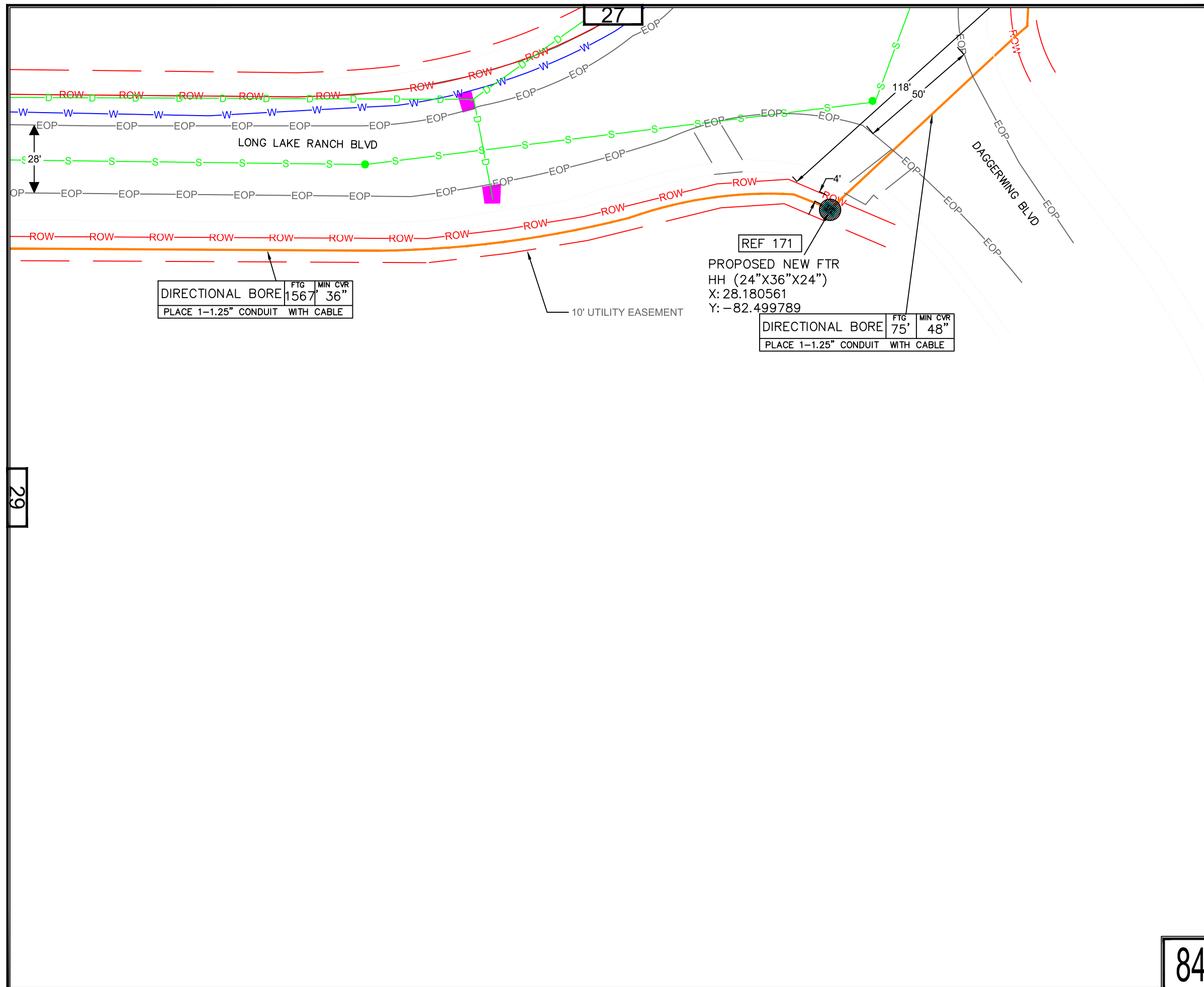
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PROJECT NUMBER:	4179006	C.O. AREA:	LUTZ
		EXCH. CODE:	LUTZFLXA
DRAWN DATE:	ENGR: EARL DOWDY	CNTY:	PASCO
15-09-2022	PHONE: 8133264135	FILE:	CROSS SECTION 4179006.DWG
SCALE:	TAX DISTRICT:	DWG	85 OF 92
TWN5HP: ####	RNG: ####	SEC:	####

NOTE:
ALL UTILITIES NOT
SHOWN IN R/W WILL
BE LOCATED PRIOR TO
CONSTRUCTION

NOTE:
G—GAS
W—WATER
P—POWER
S—SEWER



ROW-2023-00078

NOTE:

FOR ALL HATCHED AREAS:
REFER TO FDOT TEMPORARY
EROSION AND SEDIMENT
CONTROL INDEX NO.102

UNITS / ACCT CODES[illegible]

REVISIONS



PLACE PATH, CABLES, AND TERMINALS
LONG LAKE RANCH PARK AREA

PROJECT NUMBER: 4179006		C.O. AREA: LUTZFLXA EXCH. CODE: LUTZ	
DRAWN DATE: 1/20/2022		CNTY: PASCO	
ENGR: EARL DOWDY PHONE: 813-326-4135		FILE: 4179006 DUCT.DWG	
SCALE: ---		DWC 87 OF 92	
TWN/SHP: ---		SEG: ---	

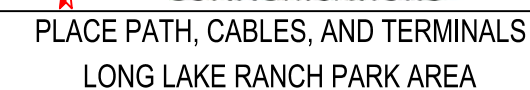


FOR ALL HATCHED AREAS:
REFER TO FDOT TEMPORARY
EROSION AND SEDIMENT
CONTROL INDEX NO.102

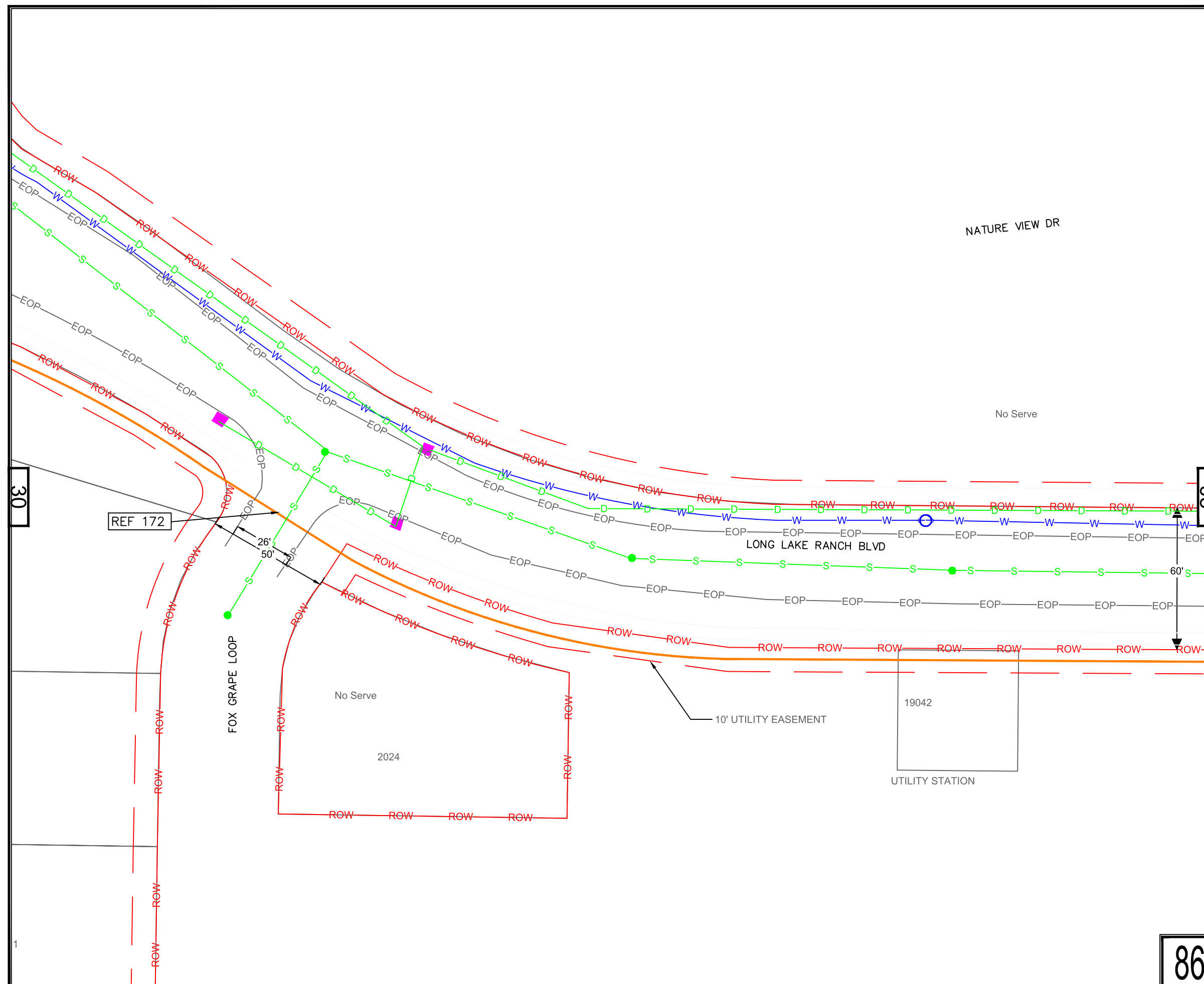
UNITS / ACCT CODES[illegible]

REVISIONS

REVISIONS		



PROJECT NUMBER: 4179006		C.O. AREA: LUTZFLXA EXCH. CODE: LUTZ	
DRAWN DATE: 1/20/2022	ENGR: EARL DOWDY PHONE: 813-326-4135	CNTY: PASCO FILE: 4179006 DUCT.DWG	
SCALE:	TAX DISTRICT: ---	DWG 89 OF 92	
TWNSHP: ---	RNG: ---	SEC: ---	



[illegible]



PROJECT NUMBER: 4179006		C.O. AREA: LUTZ	
		EXCH. CODE: LUTZFLXA	
DRAWN DATE: 15-09-2022		ENGR: EARL DOWDY	CNTY: PASCO
		PHONE: 8133264135	FILE: CROSS SECTION 4179006.DWG
SCALE: TAX DISTRICT:		DWG	90 OF 92
TWNSHP: ####	RNG: ####	SEC: ###	

NOTE:
ALL UTILITIES NOT
SHOWN IN R/W WILL
BE LOCATED PRIOR TO
CONSTRUCTION

NOTE:
ALL UTILITIES IN AREA
ARE APPROXIMATE
LOCATE PRIOR TO
CONSTRUCTION

NOTE:
G—GAS
W—WATER
P—POWER
S—SEWER

REFERENCE 173
CROSS SECTION
LOOKING "SOUTH" AT "MOORHEN WAY"

The diagram illustrates a cross-section of a road and its surrounding areas. Key features and dimensions include:

- Top Labels:** REFERENCE 173, CROSS SECTION, LOOKING "SOUTH" AT "MOORHEN WAY".
- Horizontal Dimensions (from left to right):**
 - 10' (from U/E line to R/W line)
 - 15' (from R/W line to E/P line)
 - 53' (from R/W line to C/L line)
 - 38' (from E/P line to C/L line)
 - 104' (total width from R/W line to R/W line)
 - 51' (from C/L line to R/W line)
 - 37' (from C/L line to E/P line)
 - 14' (from E/P line to R/W line)
 - 10' (from R/W line to U/E line)
- Vertical Dimensions (from bottom to top):**
 - 58" (from 1-1.25" POLYPIPE to the main road surface)
 - 40" (from a circled 'W' to the main road surface)
 - 4' (from the main road surface to the E/P line)
- Other Labels:** U/E, R/W, E/P, C/L, SIDEWALK 5', 1-1.25" POLYPIPE WITH FOC ENCASED.

REFERENCE 174

CROSS SECTION

LOOKING "WEST" AT " 19160 BREYNIA DR"

U/E

10'

6'

4'

R/W

10'

E/P

47'

37'

92'

C/L

45'

37'

E/P

8'

R/W

10'

4'

6'

U/

PROPOSED
24"X36"X24"

SIDEWALK 5'

36"

72"

SW

1-1.25" POLYPIPE
WITH FOC ENCASED

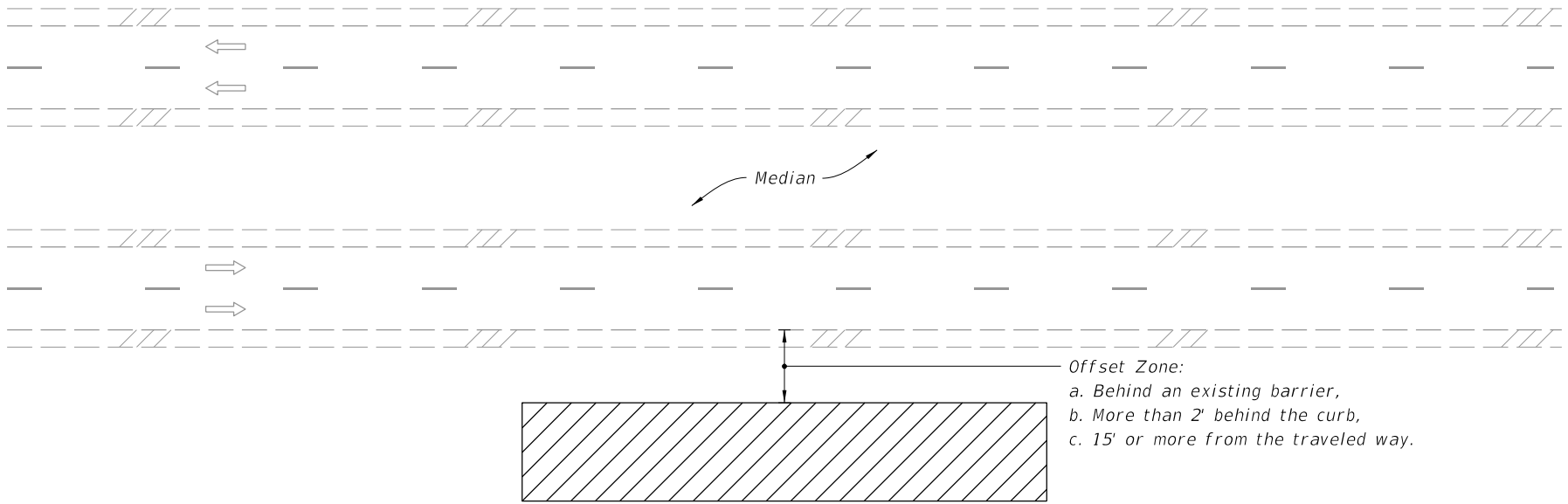
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PROJECT NUMBER: 4179006		C.O. AREA: LUTZ EXCH. CODE: LUTZFLXA	
DRAWN DATE: 15-09-2022	ENGR: EARL DOWDY PHONE: 8133264135	CNTY: PASCO FILE: CROSS SECTION 4179006.DWG	
SCALE:	TAX DISTRICT:	DWG 92 OF 92	
TWN5HP: ####	RNG: ####	SEC: ####	

NOTE:
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SHOWN IN R/W WILL
BE LOCATED PRIOR TO
CONSTRUCTION

NOTE:
G—GAS
W—WATER
P—POWER
S—SEWER



MULTILANE ROADWAY SHOWN, TWO-LANE ROADWAY SIMILAR

NOTES:

- 1. This Index applies to Two-Lane, Two-Way and Multilane Roadways, including Medians of divided roadways, with work beyond the shoulder.
- 2. Use Index 102-602 when the work operation (excluding establishing and terminating the work area) requires that two or more work vehicles cross the Offset Zone in any one hour period.
- 3. Use Index 102-660 when Work Area encroaches a Sidewalk.

SYMBOLS:

- Work Area
- Lane Identification and Direction of Traffic





ROW-2023-00078

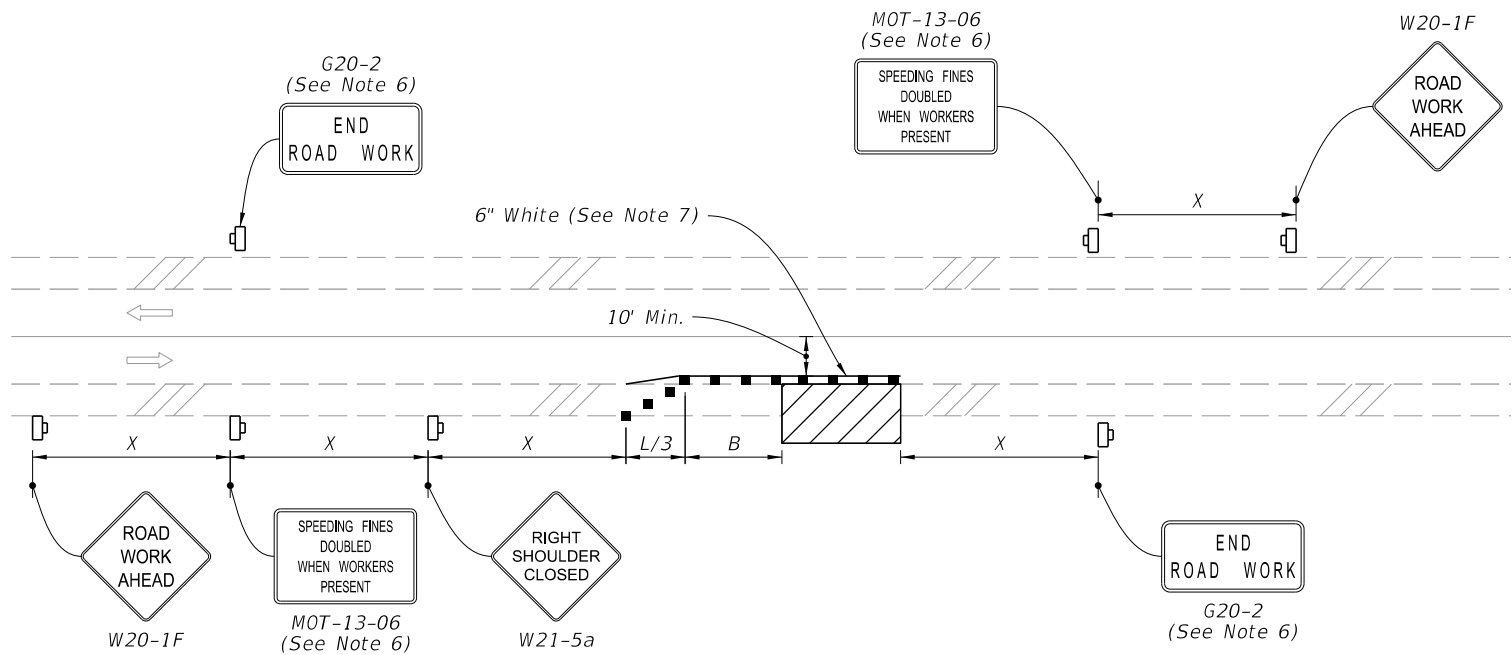
LAST REVISION 11/01/20	REVISION	DESCRIPTION:	FY 2023-24 STANDARD PLANS	TWO-LANE AND MULTILANE ROADWAY, WORK BEYOND THE SHOULDER	INDEX 102-601	SHEET 1 of 1
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NOTE:

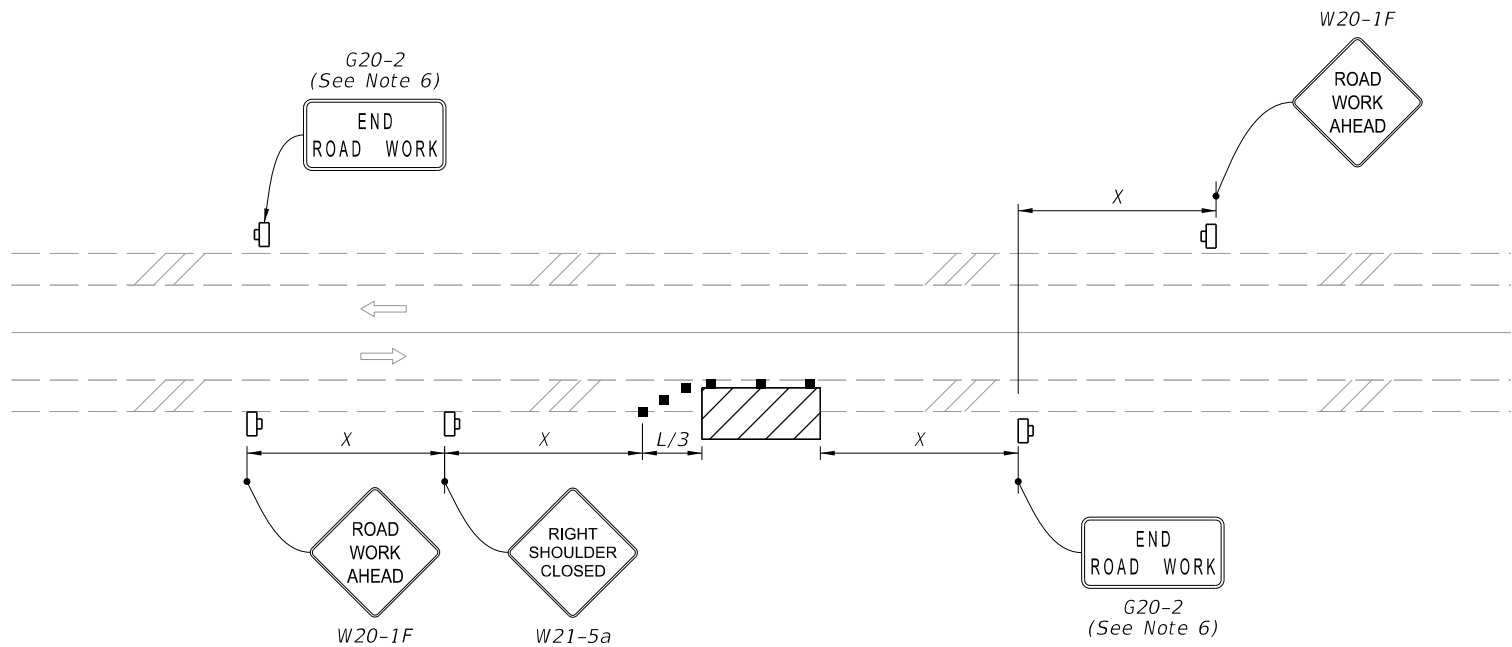
1. This Index applies to Two-Lane, Two-Way and Multilane Roadways, including Medians of divided roadways, with work on the shoulder.
2. L = Taper Length
 X = Work Zone Sign Spacing
 B = Buffer Length
See Index 102-600 for "L", "X", "B", and channelizing device spacing values.
3. Where work activities are between 2' and 15' from the edge of traveled way, the Engineer may omit signs and channelizing devices for work operations 60 minutes or less.
4. When four or more work vehicles enter the through traffic lanes in a one hour period (excluding establishing and terminating the work area), use a flagger or lane closure to accommodate work vehicle ingress and egress.
5. For work less than 2' from the traveled way and work zone speed is greater than 45 MPH, use a lane closure.
6. The "Speeding Fines Doubled When Workers Present" signs (MOT-13-06) and "End Road Work" Signs (G20-2) along with the associated work zone sign spacing distances may be omitted when the work operation is in place for 24 hours or less.
7. Temporary pavement markings may be omitted when the work operation is in place for 3 days or less.
8. Omit "Shoulder Closed" signs (W21-5a) along with associated work zone sign spacing distances for work on the median.
9. When there is no paved shoulder, the "Worker" sign (W21-1) may be used instead of the "Shoulder Closed" sign (W21-5a).

SYMBOLS:

-  Work Area
-  Channelizing Device (See Index 102-600)
-  Work Zone Sign
-  Lane Identification and Direction of Traffic



TWO-LANE ROADWAY
SHOULDER WORK LESS THAN 2' FROM THE TRAVELED WAY
WITH WORK ZONE SPEED OF 45 MPH OR LESS



TWO-LANE ROADWAY
SHOULDER WORK BETWEEN 2' AND 15' FROM THE TRAVELED WAY

ROW-2023-00078



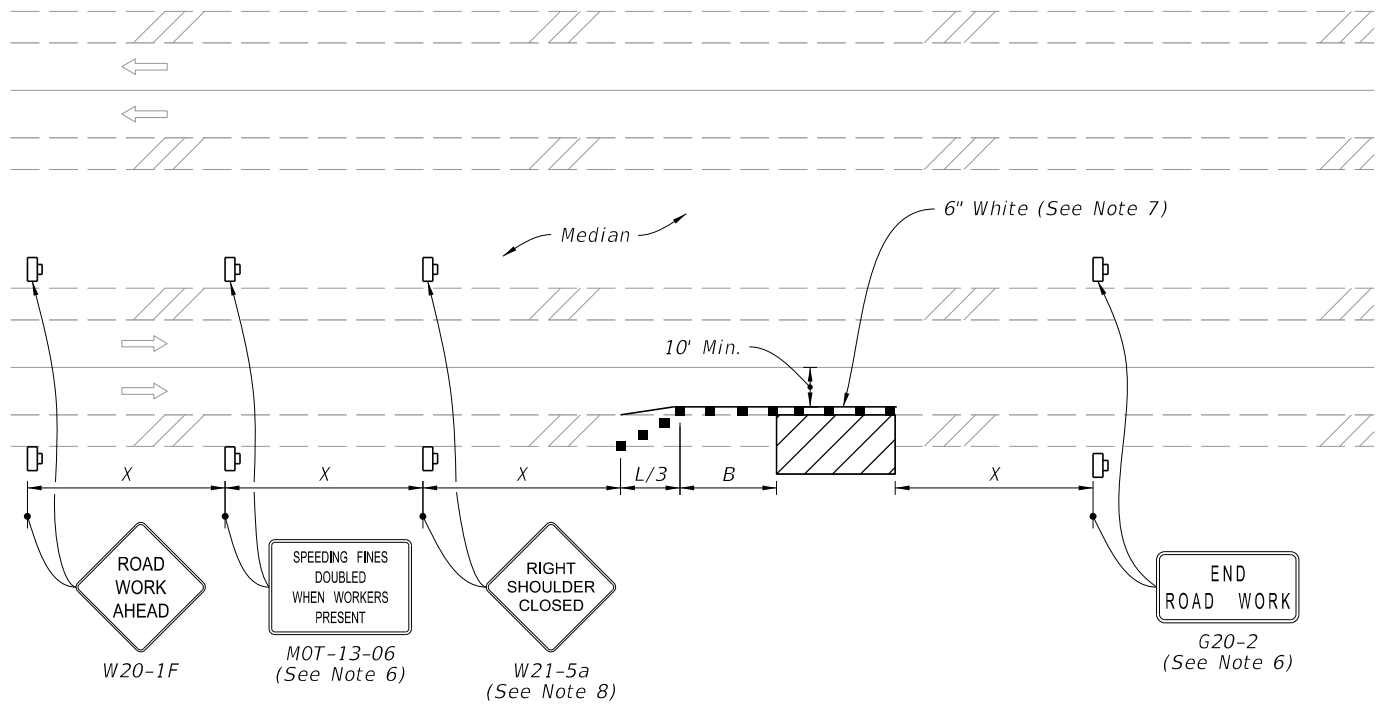
FY 2023-24
STANDARD PLANS

TWO-LANE AND MULTILANE, WORK ON SHOULDER

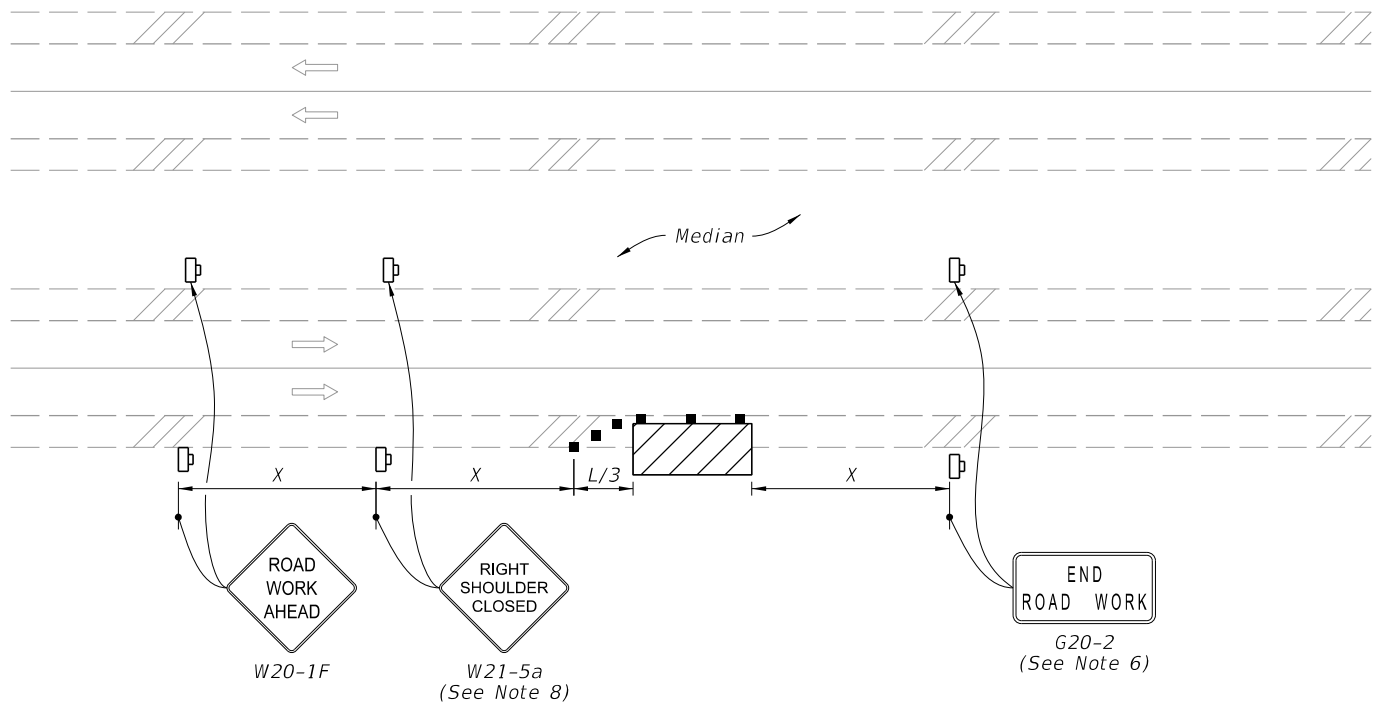
INDEX
102-602

SHEET
1 of 2

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MULTILANE ROADWAY
SHOULDER WORK LESS THAN 2' FROM THE TRAVELED WAY
WITH WORK ZONE SPEED OF 45 MPH OR LESS



MULTILANE ROADWAY
SHOULDER WORK BETWEEN 2' AND 15' FROM THE TRAVELED WAY

- SYMBOLS:**
- Work Area
 - Channelizing Device (See Index 102-600)
 - Work Zone Sign
 - Lane Identification and Direction of Traffic

ROW-2023-00078



FY 2023-24
STANDARD PLANS

TWO-LANE AND MULTILANE, WORK ON SHOULDER

INDEX
102-602

SHEET
2 of 2





LAST
REVISION
11/01/20

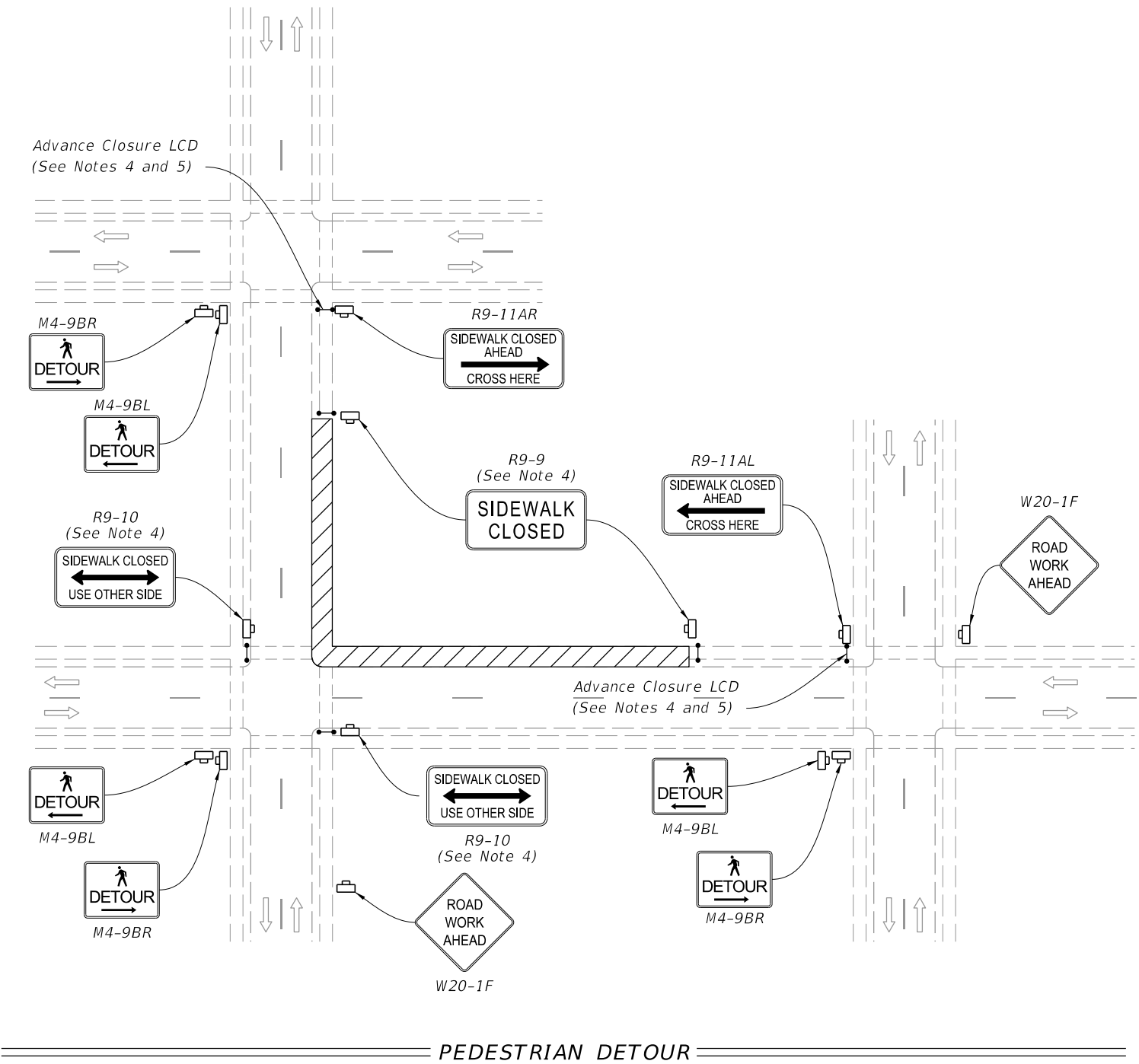
REVISION
DESCRIPTION:

NOTES:

- 1. Cover or deactivate pedestrian traffic signal display(s) controlling closed crosswalks.
- 2. Place pedestrian LCDs across the full width of the closed sidewalk.
- 3. For post mounted signs located near or adjacent to a sidewalk, maintain a minimum 7' clearance from the bottom of the sign panel to the surface of the sidewalk.
- 4. "Sidewalk Closed" signs (R9-XX) may be mounted on pedestrian LCDs in accordance with the manufacturer's instructions.
- 5. Omit the Advance Closure LCD if it blocks access to other pedestrian facilities (e.g., transit stops, residences, or business entrances).

SYMBOLS:

-  Work Area
-  Work Zone Sign
-  Pedestrian Longitudinal Channelizing Device (LCD)
-  Lane Identification and Direction of Traffic



ROW-2023-00078



FY 2023-24
STANDARD PLANS

SIDEWALK CLOSURE

INDEX
102-660

SHEET
1 of 2

LAST
REVISION
11/01/20








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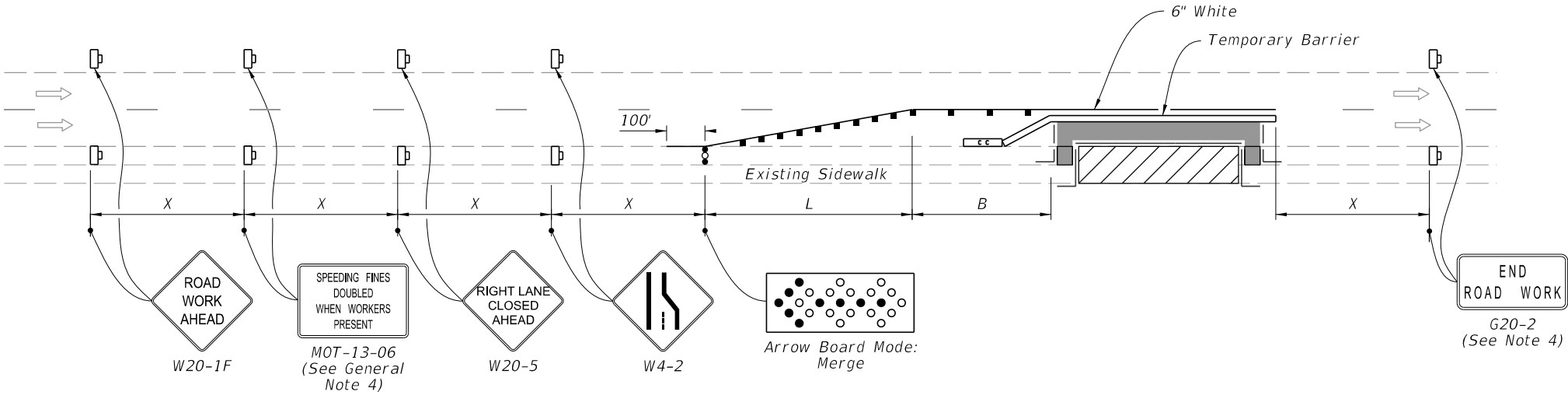
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NOTES:

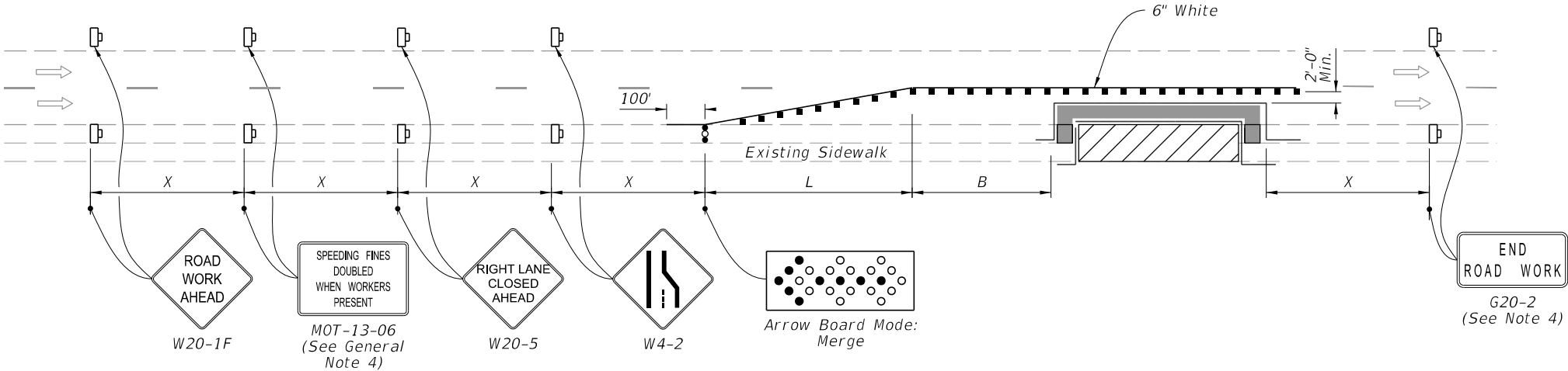
1. L = Taper Length
 B = Buffer Length
 X = Work Zone Sign Distance
See Index 102-600 for " L ", " B ", " X ", channelizing device spacing values.
2. Provide a 5' wide temporary pedestrian way with a maximum cross-slope of 0.02, except where space restrictions warrant a minimum width of 4'. Provide a 5' x 5' passing space for temporary pedestrian ways less than 5' in width at intervals not to exceed 200'.
3. When temporary pedestrian ways require curb ramps, meet the requirements of Index 522-002. Detectable warnings are not required for curb ramps diverting pedestrian traffic into a closed lane.
4. The "Speeding Fines Doubled When Workers Present" signs (MOT-13-06) and "End Road Work" signs (G20-2), along with associated work zone sign distances, may be omitted when the work operation will be in place for 24 hours or less.
5. Pedestrian Diversion Option 2 may only be used when called for in the Plans or as approved by an Engineer.

SYMBOLS:

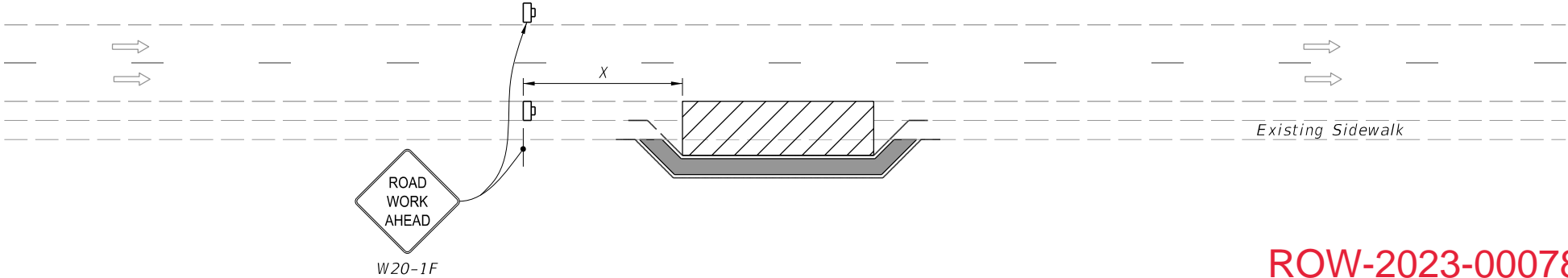
-  Work Area
-  Temporary Pedestrian Way
-  Channelizing Device (See Index 102-600)
-  Pedestrian Longitudinal Channelizing Device (LCD)
-  Work Zone Sign
-  Arrow Board
-  Crash Cushion
-  Lane Identification and Direction of Traffic



PEDESTRIAN DIVERSION - OPTION 1
(Temporary Barrier Shown, Low Profile Barrier Similar)




PEDESTRIAN DIVERSION - OPTION 2
(Work Zone Speed 35 mph or Less)



PEDESTRIAN SPECIAL DETOUR

ROW-2023-00078

LAST REVISION 11/01/21	REVISION	DESCRIPTION:	 FY 2023-24 STANDARD PLANS	SIDEWALK CLOSURE	INDEX 102-660	SHEET 2 of 2
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GLB1111161N11

HDPE STRUCTURAL FOAM COVER/HDPE MOLDED BOX

Channell's GLB Assembly

FEATURES:

- Grade Level Box 11" X 11" X 11 inches
- Black - HDPE Body – Green Cover Structural Foam Cover
- Load rated to ASTM C857 A-0.3 (300 lbs. per square foot)
- 1 – L-Bolt ¼ turn lock
- 1 – Optional EMS Marker
- High Density Polyethylene material (HDPE)
- Non-skid surface

WEIGHT & SHIPPING:

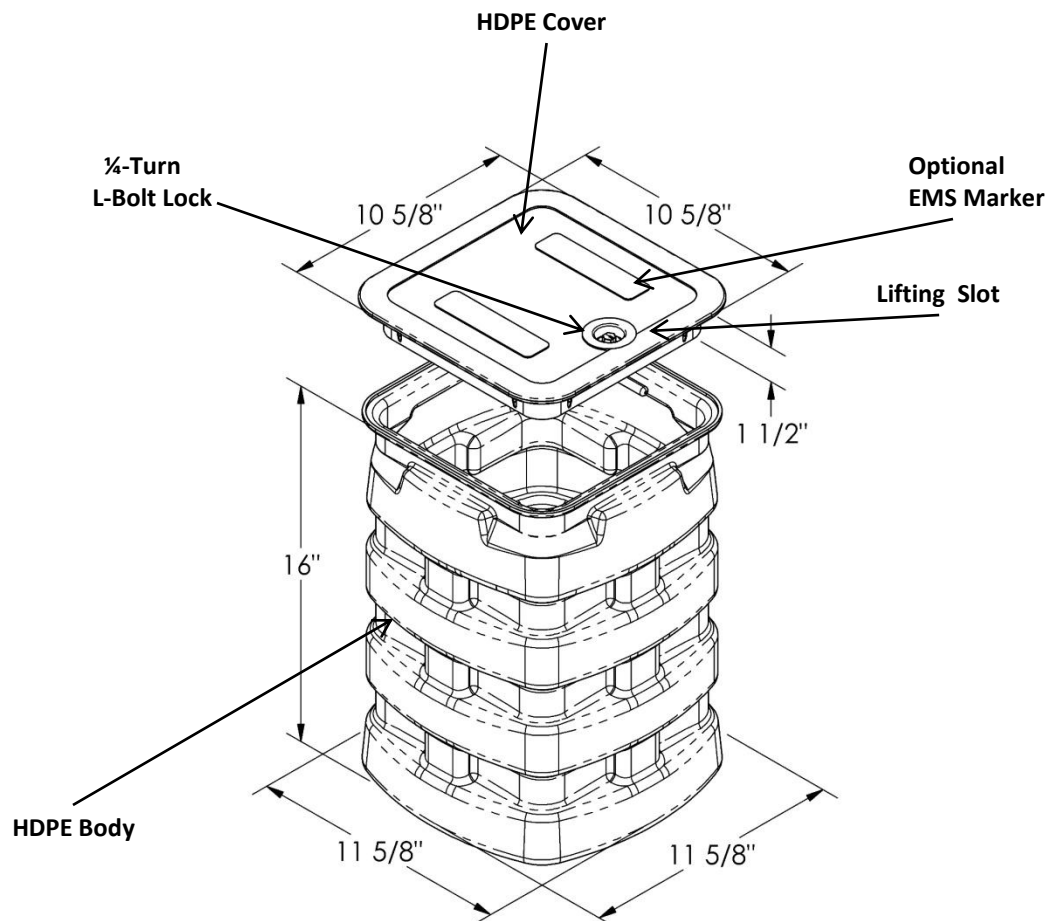
- Cover Weight: 1.65 lbs.
- Box Weight: 4 lbs
- Assembly Weight: 5.65 lbs
- Loaded Pallet Weight: 367 lbs
- Per Pallet #: 60
- Pallet Dimensions: 34" L x 49" W x 47" H

LOAD RATINGS:

- ASTM 857, A-0.3
- See attached Color Coded Placement Guide
- Color Type: Green



CHANNELL



Inside Dimensions

Length	Width	Depth
11"	11"	16"

ROW-2023-00078

BULKU173024

BULK VAULT HDPE STRUCTURAL FOAM

SHIELD X COMPOSITE COVER



FEATURES:

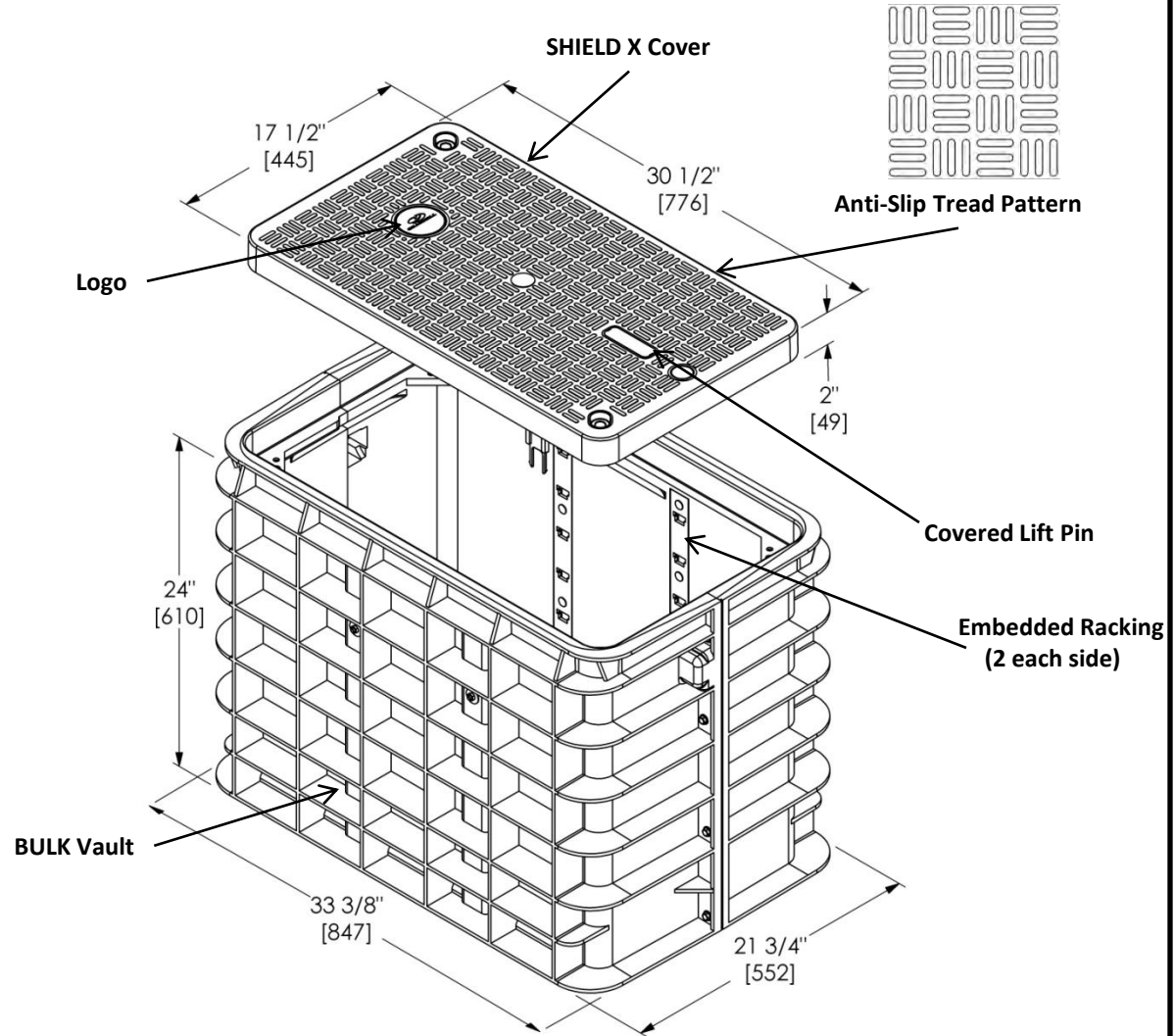
- 17" X 30" X 24" (open floor) (actual dimensions on drawing)
- BULK VAULT – SHIELD X COVER- Tier 22 Load Rated (ANSI/SCTE 77: 2013)
- (2) Cover locking Auger bolts, Hex (9/16") or Penta (7/8") head with washer
- (2) Non-Seizing Fastening System, Field Replaceable
- (4) Embedded Composite Rack Support
- (1) Lifting slot equipped with stainless steel pin (slot is approximately 2 3/4" x 3/4")
- (2) Winterized Cable Drop slide (1 1/4" X 1 1/4")
- (1) Logo Disk

WEIGHT & SHIPPING:

- Cover Weight: 26 lbs
- Box Weight: 45 lbs
- Assembly Weight : 71 lbs

PERFORMANCE TESTING:

- ANSI/SCTE 77: 2013 - TIER 22 Rated (33,750 lbs)
- AS3996 – Class C
- EN124 Class B125
- ASTM C1028-07 & AS-4586 (Slip Resistance)
- 10,000 Hour Xenon-Arc Exposure (No fiber-bloom)
- ASTM D635-06 (Flammability)



Inside Dimensions		
Length	Width	Depth
29 1/2" [749]	16 1/2" [419]	22" [559]

ROW-2023-00078



CHANNELL

BULK173024(HDPE)

BULK VAULT HDPE STRUCTURAL FOAM

HDPE PLASTIC COVER



FEATURES:

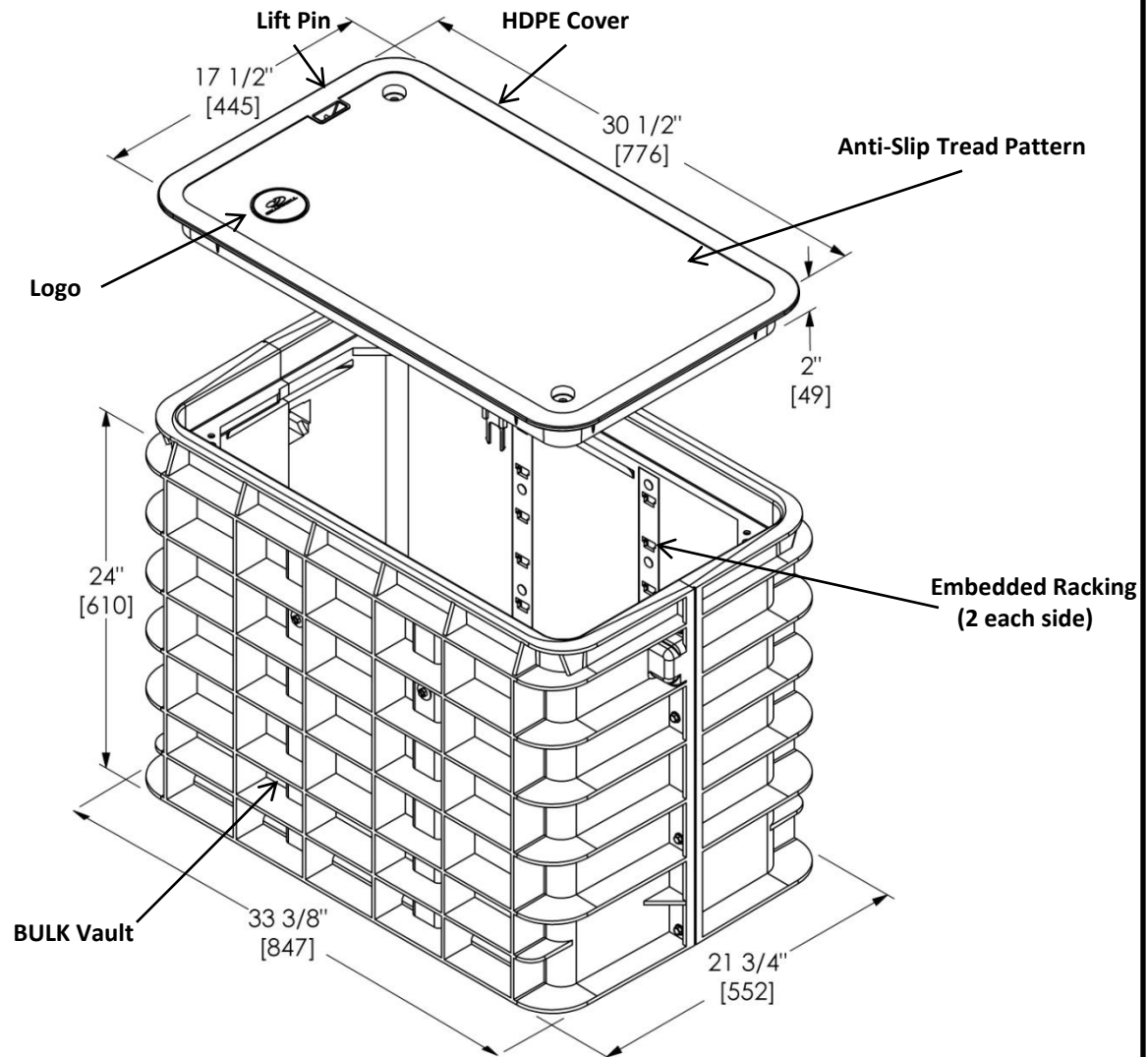
- 17" X 30" X 24" (open floor) (actual dimensions on drawing)
- BULK VAULT – HDPE PLASTIC COVER - Light Duty Load Rated (ANSI/SCTE 77: 2013)
- (2) Cover locking Auger bolts, Hex (9/16") or Penta (7/8") head with washer
- (2) Non-Seizing Fastening System, Field Replaceable
- (4) Embedded Composite Rack Support
- (1) Lifting slot equipped with stainless steel pin (slot is approximately 2 3/4" x 3/4")
- (2) Winterized Cable Drop slide (1 1/4" X 1 1/4")
- (1) Logo Disk

WEIGHT & SHIPPING:

- Cover Weight: 12lbs
- Box Weight: 45 lbs
- Assembly Weight : 57 lbs

PERFORMANCE TESTING:

- ANSI/SCTE 77: 2013 – Light Duty Rated (3,000 lbs)
- Bulk Vault Rated up to 60,000 lbs. (upgradable lid)



Inside Dimensions		
Length	Width	Depth
29 1/2" [749]	16 1/2" [419]	22" [559]

ROW-2023-00078



CHANNELL

BULKU2436-24 (HDPE)

BULK VAULT HDPE STRUCTURAL FOAM

HDPE PLASTIC COVER



FEATURES:

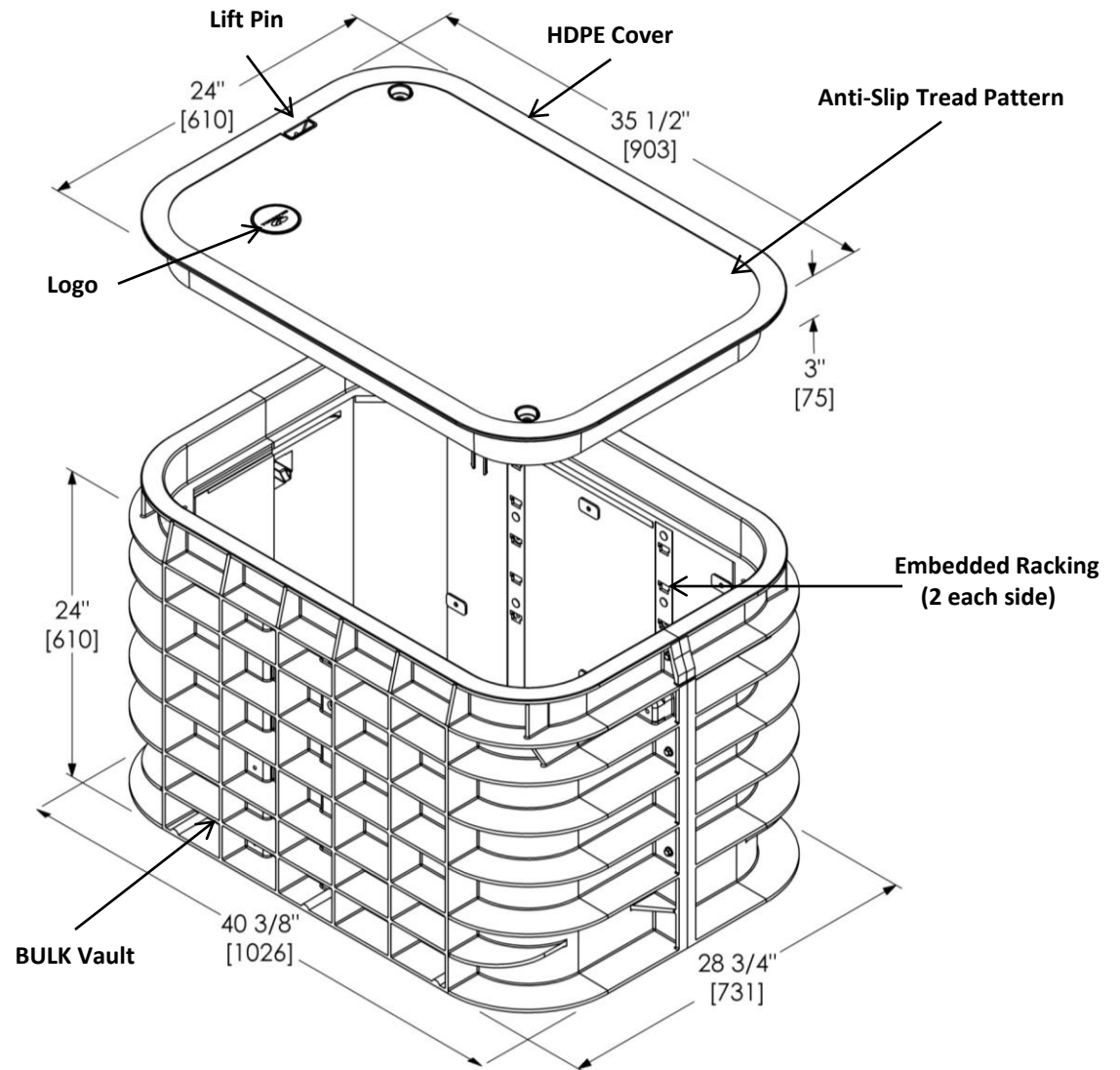
- 24" X 36" X 24" (open floor) (actual dimensions on drawing)
- BULK VAULT – HDPE PLASTIC COVER - Light Duty Load Rated (ANSI/SCTE 77: 2013)
- (2) Cover locking Auger bolts, Hex (9/16") or Penta (7/8") head with washer
- (2) Non-Seizing Fastening System, Field Replaceable
- (4) Embedded Composite Rack Support
- (1) Lifting slot equipped with stainless steel pin (slot is approximately 2 3/4" x 3/4")
- (2) Winterized Cable Drop slide (1 1/4" X 1 1/4")
- (1) Logo Disk

WEIGHT & SHIPPING:

- Cover Weight: 23 lbs
- Box Weight: 55 lbs
- Assembly Weight : 78 lbs

PERFORMANCE TESTING:

- ANSI/SCTE 77: 2013 – Light Duty Rated (3,000 lbs)
- Bulk Vault Rated up to 60,000 lbs. (upgradable lid)



Inside Dimensions		
Length	Width	Depth
34 3/8" [873]	22 3/4" [578]	21" [533]

ROW-2023-00078



CHANNELL

BULKU243624

BULK VAULT HDPE STRUCTURAL FOAM

SHIELD X COMPOSITE COVER



FEATURES:

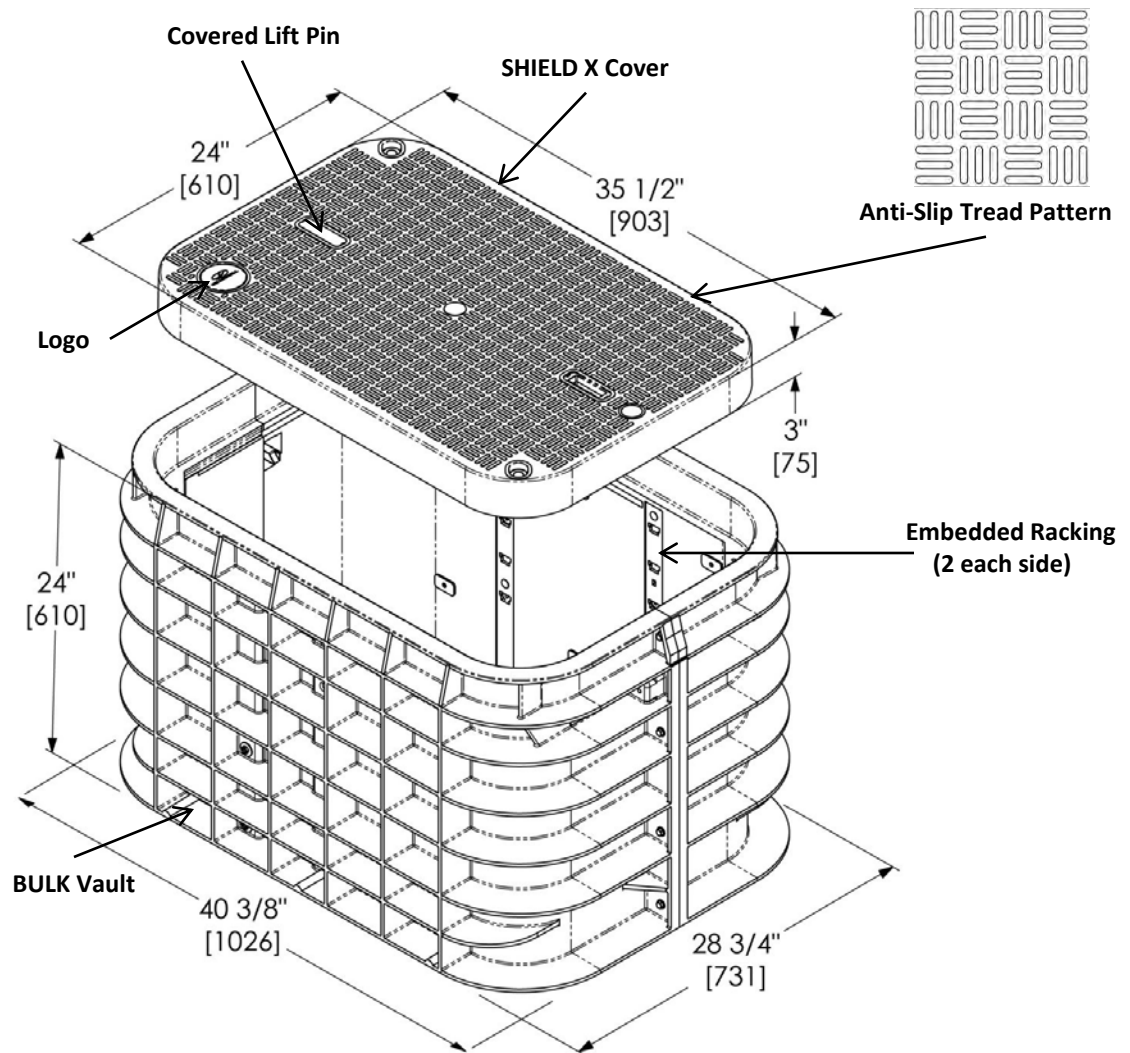
- 24" X 36" X 24" (open floor) (actual dimensions on drawing)
- BULK VAULT – SHIELD X COVER- Tier 22 Load Rated (ANSI/SCTE 77: 2013)
- (2) Cover locking Auger bolts, Hex (9/16") or Penta (7/8") head with washer
- (2) Non-Seizing Fastening System, Field Replaceable
- (4) Embedded Composite Rack Support
- (2) Lifting slot equipped with stainless steel pin (slot is approximately 2 3/4" x 3/4")
- (2) Winterized Cable Drop slide (1 1/4" X 1 1/4")
- (1) Logo Disk

WEIGHT & SHIPPING:

- Cover Weight: 47 lbs
- Box Weight: 55 lbs
- Assembly Weight : 102 lbs

PERFORMANCE TESTING:

- ANSI/SCTE 77: 2013 - TIER 22 Rated (33,750 lbs)
- AS3996 – Class C
- EN124 Class B125
- ASTM C1028-07 & AS-4586 (Slip Resistance)
- 10,000 Hour Xenon-Arc Exposure (No fiber-bloom)
- ASTM D635-06 (Flammability)



Inside Dimensions		
Length	Width	Depth
34 3/8" [873]	22 3/4" [578]	21" [533]

ROW-2023-00078



CHANNELL



Enclosure, Box, Polymer Concrete

by QUAZITE
Catalog ID: PG3636BA36

Box, Polymer Concrete, Tier 22, 36"x36"X36", Straight Wall, Open Bottom

Product Details

General

Insulated?	No
Load Rating (ANSI Tier)	T22
Material	Polymer Concrete
Type	Below Ground Boxes
UPC	662037128692

Dimensions

Height	36 in
Length	40 in
Weight	381.15 lb
Width	40 in

For further technical assistance, please contact us

Domestic Customer Service

Hubbell Power Systems
210 N. Allen Centralia, MO 65240 USA
Phone: (573) 682-5521
Fax: (573) 682-8475
Email: hpscsc@hubbell.com

International Customer Service

Phone: +1-573-682-5521
Fax: +1-573-682-8516
Email: hpsintlcs@hubbell.com

ROW-2023-00078

Ticket : 186204228 Rev:000 Taken: 07/05/22 11:52ET

State: FL Cnty: PASCO GeoPlace: LUTZ
CallerPlace: LUTZ
Subdivision:

Address :
Street : LONG LAKE RANCH BLVD
Cross 1 : SUNLAKE BLVD
Within 1/4 mile: N 100 FT

Locat: LOCATE ALL UTILITIES WITHIN 100FT ON SUNLAKE BLVD, LONG LAKE RANCH BLVD,
BREVIA DR, LEAF FLOWER LN, BLOSSOM VINE LN, ROSEMOOR AVE, CHERRY WALK RD,
LEONARD RD, MORSANI RD, PARTERRE AVE, STONE PINE CIR.

:

Remarks : IN RESPONSE TO RECEIPT OF A DESIGN TICKET, SSOCOF PROVIDES THE
ORIGINATOR OF THE DESIGN TICKET WITH A LIST OF SSOCOF MEMBERS IN THE VICINITY
OF THE DESIGN PROJECT. SSOCOF DOES NOT NOTIFY SSOCOF MEMBERS OF THE RECEIPT BY
SSOCOF OF A DESIGN TICKET. IT IS THE SOLE RESPONSIBILITY OF THE DESIGN
ENGINEER TO CONTACT SSOCOF MEMBERS TO REQUEST INFORMATION ABOUT THE LOCATION OF
SSOCOF MEMBERS' UNDERGROUND FACILITIES. SUBMISSION OF A DESIGN TICKET WILL NOT
SATISFY THE REQUIREMENT OF CHAPTER 556, FLORIDA STATUTES, TO NOTIFY SSOCOF OF
AN INTENT TO EXCAVATE OR DEMOLISH. THAT INTENT MUST BE MADE KNOWN SPECIFICALLY
TO SSOCOF IN THE MANNER REQUIRED BY LAW. IN AN EFFORT TO SAVE TIME ON FUTURE
CALLS, SAVE YOUR DESIGN TICKET NUMBER IF YOU INTEND TO BEGIN EXCAVATION WITHIN
90 DAYS OF YOUR DESIGN REQUEST. THE DESIGN TICKET CAN BE REFERENCED, AND THE
INFORMATION ON IT CAN BE USED TO SAVE TIME WHEN YOU CALL IN THE EXCAVATION
REQUEST.

*** LOOKUP BY MANUAL ***

:

Grids : 2810A8229A 2810A8229B 2810A8229C 2810A8230C 2810A8230D
Grids : 2811D8229A 2811D8229B 2811D8229C 2811D8229D

Work date: 07/05/22 Time: 11:44ET Hrs notc: 000 Category: 6 Duration: UNKNOWN

Due Date : 07/07/22 Time: 23:59ET Exp Date : 08/04/22 Time: 23:59ET

Work type: DESIGN Boring: N White-lined: N

Ug/Oh/Both: U Machinery: N Depth: UNK Permits: N N/A

Done for : DESIGN

Company : PIKE TELECOM AND RENEWABLES Type: CONT

Co addr : 5260 PARKWAY PLAZA BLVD, SUITE 150, SUITE 150, CHARLOTTE, NC, 28217, MECKLENBURG

City : CHARLOTTE State: NC Zip: 28217

Caller : RYAN WILLIAMS Phone: 803-835-7952

BestTime:

Mobile : 208-360-2514

Email : MVALLEJO@PIKE.COM

Submitted: 07/05/22 11:52ET Oper: RYA Chan: WEB

Mbrs : BH1926 FLW941 FPC314 GT1722 PASCO PGSTAM WCRW01

ROW-2023-00078

* Responses are current as of 01/20/2023 05:59 PM

<u>Ex. Circum</u>	<u>Service Area</u>	<u>Utility Type(s)</u>	<u>Contact</u>	<u>Alternate Contact</u>	<u>Emergency Contact</u>	<u>Positive Response</u>
No	CHARTER COMMUNICATIONS BH1926	CATV	JEREMY CORNETTE (863) 581-5734	USIC DISPATCH OFFICE (CLS) * (800) 778-9140	USIC DISPATCH OFFICE (CLS) * (800) 778-9140	
No	ZAYO GROUP / FORMERLY LIGHTWAVE, LLC FLW941	FIBER	HENRY KLOBUCAR (406) 496-6510	STAKE CENTER / LOUIS SIMONE (772) 579-8956	JON RAY (813) 417-2184	
No	DUKE ENERGY - ST PETERSBURG FPC314	ELECTRIC	DUKE'S CUSTOMER SERVICE CENTER (407) 629-1010	USIC DISPATCH (800) 778-9140	DUKE'S CUSTOMER SERVICE CENTER (407) 629-1010	
No	FRONTIER COMMUNICATIONS GT1722	CATV, COMMUNICATION LINES	TONI CANNON (813) 875-1014		AFTER HOURS CRAIG ELLISON, USIC. (800) 575-5594	
No	PASCO COUNTY UTILITIES PASCO	RECLAIMED WATER, SEWER, WATER	GEORGE DEMINT (813) 235-6189 x6940	RALPHEAL UBERTACCIO (727) 992-4236	UTILITIES DISPATCH (727) 847-8144	Unmarked - Work is being performed by the utility and the excavator will mark the underground lines per agreement
No	TECO PEOPLES GAS- TAMPA PGSTAM	GAS	JOAN DOMNING (813) 275-3783	ROGER ROSELLO (813) 422-2805	TECO PEOPLES GAS CUSTOMER SERVICE** (877) 832-6747	
No	TAMPA BAY WATER WCRW01	WATER	UTILITY COORDINATION	ALLAN WILLIAMS (813) 802-8763	TAMPA BAYWATER CYPRESS CREEK REG WTP (813) 929-4500	

ROW-2023-00078

PUBLIC WORKS ROW REVIEW COMMENTS

PROJECT: Frontier Project 4179006-FTTH

PROJECT NO.: ROW # ROW-2023-00078 DATE 2-3-23

BY: AL TOLER

Public Works is requesting the following conditions be required for construction and maintenance of:

NUMBER	REFERENCE	COMMENTS
1.	<u>Communication Construction</u>	If changes have to be made to the plans, please bubble and indicate the plan sheet ID or number. <u>Please respond in the form of a memo or letter that lists the comment</u> , and the applicant's response to follow the comment.

ROW-2023-00078

2.	Post submittal requirement	<p>Submit a roadway bore log to Pasco County Public Works atoler@pascocountyfl.net within seven (7) days of the completion of the successful or failed bore path. The bore log shall include all of the following:</p> <ul style="list-style-type: none"> a) Pasco County Right of Way Use Permit number. If the utility work was done during a construction project include the project identification number. b) Name of person collecting data, including title, position and company name and phone number. c) A tie to a permanent structure or a station when within a construction project. d) The detection method used, bore diameter, utility diameter, drilling fluid composition, composition of any other materials used to fill the annular void between the bore and the utility diameter, or utilities placed out of service. e) A plan view of the bore path showing depths and offset dimensions in relation to roadway to an accuracy of within one (1) inch of the physically exposed beginning and end points of the bore and other exposed points along the path and indicate if the bore failed.
3.		Any field changes that may occur contrary to the proposed Right of Way Use Permit plan shall require an asbuilt amendment submittal for review and acceptance.
4.	LDC 406.5	A copy of the ROW Use Permitted Plans and all incorporated conditions shall always be kept readily available at the site of the work.
5.	LDC 406.5	In the County rights-of-way work shall be performed in a safe manner that is consistent with the requirements of the Pasco County Land Development Code, the health, safety, and welfare of Pasco County and its citizens. All traffic control devices, i.e.: Warning/Construction type signs will comply with F.D.O.T. 102 Standard Index during the construction phase.
6.	LDC 406.5 LDC 902.1.D.2.a	Required erosion and sediment control devices shall always be in place during construction and shall be removed only after stabilization has been established.
7.	FDEP NONPOINT SOURCE MANAGEMENT AND WATER QUALITY STANDARDS	At all times during construction apply perimeter control (BMP's) practices to protect the disturbed area from offsite runoff and to prevent sedimentation damage to areas below activity.

8.	LDC 406.5	Proposed work requiring a road closure shall require Board of County Commissioners (BCC) approval.
9.	LDC 406.5	The approval of a Right-of-Way Use Permit may be subject to specific conditions deemed necessary by the County Administrator or designee and appropriate for the fulfillment of the purposes of the LDC. The Conditions of Approval shall be stated on the face of the permit or may be incorporated by reference into any document which shall be attached to the permit.
10.	LDC 406.5	All pedestals and boxes shall be appropriately marked and/or identified and located within (12) inches of the rear the right-of-way.
11.		Restorations shall be maintained for one (1) year after completion, unless a longer time period is mandated by the County.
12.	LDC 406.5	Disturbed areas must be properly stabilized, including grading, compacting, and <u>sod</u> .
13.		<u>No track type equipment</u> will be allowed on any asphaltic or concrete surfaces.
14.	LDC 406.5 LDC 902.1.E.1	No illicit discharge shall occur as a result of activity performed pursuant to this permit.
15.		<u>NO OPEN CUTS</u> without specific approval from the Public Works Director.
16.	FDEP NONPOINT SOURCE MANAGEMENT AND WATER QUALITY STANDARDS	Inlets to storm sewers shall be protected by suitable filtering devices during construction to keep pollutants from entering conveyance systems.
17.		Upon approval Directional Drilling and Jack & Bore shall be the only acceptable method of traversing under a County roadway. Any method other than hand trenching or mechanical shovel for placing utility in right of way shall be submitted for county approval.
18.		All Utility lines within the right-of-way shall be placed a minimum of 36" under the roadway and a minimum of 30" under non-traffic bearing surfaces.
19.		Any lines crossing culverts shall be at least 30 inches below the bottom of the culvert.
20.		All lines located within roadside drainage ditches shall be a minimum of 30 inches below the lowest point of the ditch or the invert of any culverts within right-of-way which ever is lower.

21.		Unless the utility governing regulation directs further, a minimum thirty-inch separation from any stormwater structure or pipe shall be required.
22.		All Utility lines within the rights-of-way shall be clearly identified at regular intervals.

TRAFFIC OPS

Created by: Mike Bunk on 2/2/2023, 2:31:03 PM

CONDITIONS OF APPROVAL

Description:

The Traffic Operations Division has reviewed the permit as requested; the permit is approved with the following conditions.

1. The permittee shall provide maintenance of traffic per Florida Department of Transportation Standards latest edition in all work areas. All maintenance of traffic notes contained in the Florida Department of Transportation Standards latest editions apply to this permit approval.
2. No Pole or Post without a proper break away design to be erected within the Right of Way Clear Zone based on requirements found in the FDOT Plans Preparation Manual Table 4.2.1
3. The permittee shall not damage or remove any traffic control devices. If a traffic control sign needs to be removed or relocated, the permittee shall contact the Pasco County Public Works Department at 727-847-8143 or 352-521-4246.
4. The permittee shall repair or replace to F.D.O.T. standards, any and all damaged traffic control devices at their expense.
5. When working within 150 feet of a signalized intersection or roadway lighting system, the permittee shall call Sunshine State One-Call of Florida, Inc. at 811, 48 hours in advance for a cable locate.
6. Any excavation 10 feet of any Traffic Signal or Street Light pole will require the permittee to provide stabilization of the pole as determined by Pasco County. The permittee shall call Pasco County Traffic Operations Division at 727-847-8139, 48 hours in advance for a determination.
7. If the permittee proposes to close any lanes of a roadway, the following conditions apply. Lane closures on any collector or arterial roadway shall not be permitted during the hours of 6AM to 9AM and 4PM to 7PM. Lane closures within any school zone or within 500 feet of a school zone shall not be permitted from 1 hour before to 1 hour after the starting and ending times for the school. Proper maintenance of traffic SHALL be provided per latest Florida Department of Transportation Design Standards. A complete road closure and detour shall not be permitted under this Right-of-Way Use Permit.

ROW-2023-00078

UTILITIES

ROW REVIEW COMMENTS

ROAD NAME:	Parterre Ave.	ROW NUMBER:	2023-00078	DATE:	02/13/2023
REVIEW BY:	Michael Brienza/JLT MGB		TITLE:	Utilities Lead Inspector	

Utilities Department is requesting the following conditions be required for the construction and maintenance of:

NUMBER	REFERENCE	COMMENTS
1.		Potential conflict with existing Pasco County Utilities.
2.		Call 811 two (2) FULL business days before you dig.
3.		Mark area in white.
4.		Exercise caution.

ROW-2023-00078

EXHIBIT 16

LONG LAKE RANCH CDD
FISCAL YEAR 2023-2024 PROPOSED BUDGET
GENERAL FUND, OPERATIONS & MAINTENANCE (O&M)

	FY 2021 ACTUALS	FY 2022 ACTUALS	FY 2023 YTD (10/2022-1/2023)	FY 2023 AMENDED	FY 2024 PROPOSED	VARIANCE FY2023-FY2024
REVENUE						
ASSESSMENTS LEVIED:						
ASSESSMENTS LEVIED (NET ON-ROLL):	\$ 1,130,879	\$ 1,287,801	\$ 1,128,132	\$ 1,165,951	\$ 1,119,892	\$ (46,060)
ADDITIONAL REVENUE:						
TENNIS	1,257		360	1,440	1,440	-
ROOM RENTALS	335	2,710	305	150	1,000	850
INTEREST	350	260	334	125	125	-
ADVERTISEMENT RENTAL			4,000	-	-	-
MISC. REVENUE	8,829	42,014	170	-	-	-
FUND BALANCE FORWARD (removed)				-	-	-
TOTAL REVENUE	1,141,650	1,332,786	1,133,300	1,167,666	1,122,457	(45,210)
EXPENDITURES						
ADMINISTRATIVE:						
SUPERVISORS - REGULAR MEETINGS	9,139	9,585	2,600	10,000	9,600	(400)
SUPERVISORS - WORKSHOPS			-	2,000	800	(1,200)
PAYROLL TAXES (BOS)	459	750	199	734	734	-
PAYROLL SERVICES FEES	398	678	202	600	600	-
DISTRICT MANAGEMENT	17,458	18,448	6,665	20,000	19,250	(750)
ADMINISTRATIVE	6,171	3,962	3,667	11,000	3,750	(7,250)
ACCOUNTING	19,533	17,500	3,667	11,000	17,500	6,500
ASSESSMENT ROLL PREPERATION	8,933	3,667	1,667	5,000	4,000	(1,000)
DISSEMINATION AGENT	3,333	4,000	3,000	3,000	4,000	1,000
MEETING OVERAGES		648		-	-	-
DISTRICT COUNSEL	44,218	50,552	11,051	32,000	32,000	-
DISTRICT ENGINEER	9,275	13,521	1,690	13,500	14,000	500
ARBITRAGE REBATE CALCULATION	1,800	1,150	500	650	1,500	850
TRUSTEE FEES	10,843	11,701	8,081	15,701	15,701	-
BANK FEES	415			150	150	-
AUDITING	5,978	3,850	-	6,000	6,000	-
REGULATORY PERMITS AND FEES	275	175	175	175	175	-
PROPERTY TAXES	578	676	225	250	250	-
SALES TAX			461			-
LEGAL ADVERTISING	3,171	807	131	1,500	1,500	-
WEBSITE HOSTING	2,391	2,164	1,538	1,600	2,400	800
MISC. SERVICE	1,247			-	-	-
TOTAL ADMINISTRATIVE	145,616	143,833	45,518	134,860	133,910	(950)
INSURANCE:						
PUBLIC OFFICIALS, GENERAL LIABILITY & PROPERTY INSURANCE	18,226	18,865	20,564	22,628	27,154	4,526
TOTAL INSURANCE	18,226	18,865	20,564	22,628	27,154	4,526

LONG LAKE RANCH CDD
FISCAL YEAR 2023-2024 PROPOSED BUDGET
GENERAL FUND, OPERATIONS & MAINTENANCE (O&M)

		FY 2021 ACTUALS	FY 2022 ACTUALS	FY 2023 YTD (10/2022-1/2023)	FY 2023 AMENDED	FY 2024 PROPOSED	VARIANCE FY2023-FY2024
42							
43	UTILITIES:						
44	UTILITIES - ELECTRICITY	38,999	77,939	16,230	90,000	90,000	-
45	UTILITIES - STREETLIGHTS	149,096	116,218	43,630	150,000	150,000	-
46	UTILITIES - WATER/SEWER	3,428	9,475	1,672	25,000	11,000	(14,000)
47	UTILITIES - RECLAIMED WATER	24,065	-	-	-	-	-
48	UTILITIES - SOLID WASTE REMOVAL	960	1,211	1,780	1,716	2,500	784
49	TOTAL UTILITIES	216,548	204,843	63,312	266,716	253,500	(13,216)
50							
51	SECURITY:						
52	SECURITY MONITORING SERVICES	16,448	2,349		-	-	-
53	SECURITY REPAIRS & MAINTENANCE	10,706	5,065	1,468	7,600	7,500	(100)
54	TOTAL SECURITY	27,154	7,414	1,468	7,600	7,500	(100)
55							
56	COMMUNITY MAINTENANCE						
57	FIELD SERVICES	4,167	5,000	1,684	5,051	5,000	(51)
58	FOUNTAIN SERVICE REPAIRS & MAINTENANCE	1,614	600	1,043	3,500	3,500	-
59	AQUATIC MAINTENANCE	30,120	28,366	9,840	29,520	29,520	-
60	MITIGATION AREA MONITORING & MAINTENANCE	1,100	650		3,100	3,100	-
61	AQUATIC PLANT REPLACEMENT		1,950	-	2,500	2,750	250
62	STORMWATER SYSTEM MAINTENANCE	76		-	500	-	(500)
63	MIDGE FLY TREATMENTS			-	-	-	-
64	FISH STOCKING	6,006	1,445	-	11,100	11,100	-
65	LAKE & POND MAINTENANCE	-	-	-	2,000	12,000	10,000
66	ENTRY & WALLS MAINTENANCE	5,535	3,994	-	5,500	5,500	-
67	LANDSCAPE MAINTENANCE - CONTRACT	153,887	176,825	54,700	183,982	172,305	(11,677)
68	LANDSCAPE REPLACEMENT MULCH	25,500	56,325	60,000	70,000	70,000	-
69	LANDSCAPE REPALCEMENT ANNUALS	5,999	22,180	14,544	24,000	29,000	5,000
70	LANDSCAPE REPLACEMENT PLANTS & SHRUBS	20,143	34,405	49,142	45,000	45,000	-
71	TREE TRIMMING & MAINTENANCE			675	16,000	16,000	-
72	OTHER LANDSCAPE -FIRE ANT TREAT	16,036		-	4,500	4,500	-
73	IRRIGATION REPAIRS & MAINTENANCE	8,752	11,528	1,443	6,000	12,000	6,000
74	DECORATIVE LIGHT MAINTENANCE	9,050	8,900	4,000	9,050	9,050	-
75	FIELD CONTINGENCY	27,764		1,200	22,931	22,000	(931)
76	TOTAL COMMUNITY MAINTENANCE	315,749	352,168	198,270	444,234	452,325	8,092
77							
78	ROAD & STREET FACILITIES						
79	SIDEWALK REPAIR & MAINTENANCE	4,000			1,000	1,000	-
80	ROADWAY REPAIR & MAINTENANCE	5,400	53		1,000	1,000	-
81	SIGNAGE REPAIR & REPLACEMENT	3,696	8,600		5,000	5,000	-
82	TOTAL ROAD & STREET FACILITIES	13,096	8,653	-	7,000	7,000	-

FY 2021 ACTUALS	FY 2022 ACTUALS	FY 2023 YTD (10/2022-1/2023)	FY 2023 AMENDED	FY 2024 PROPOSED	VARIANCE FY2023-FY2024
101,985	112,199	29,894	126,928	128,257	1,329
15,597		11,302	27,780	28,891	1,111
3,564	470	833	5,460	5,460	-
6,030	18,924	3,291	21,000	21,000	-
296	1,421	116	500	500	-
	1,827	-	1,500	1,750	250
232		-			
12,960	2,491	490	1,500	1,650	150
560	611	-	1,000	1,000	-
6,536	3,594	1,159	5,000	5,000	-
		-	2,000	2,000	-
126		-	1,000	1,000	-
	86	-	1,000	1,100	100
3,570	4,704	581	5,000	5,500	500
2,350	1,200	300	2,460	2,460	-
3,456			2,500	2,500	-
157,261	147,525	47,967	204,628	208,068	3,440
					-
	21,664	-	30,000	33,000	3,000
14,603	27,190	-	-	-	-
14,603	48,854	-	30,000	33,000	3,000
908,252	932,155	377,099	1,117,666	1,122,457	4,791
241,354	248,031	95,877	50,000	-	(50,000)
\$(7,956)	\$ 152,600	\$ 660,324	\$ -	\$ -	\$ -

LONG LAKE RANCH CDD
FISCAL YEAR 2023-2024 PROPOSED BUDGET
CAPITAL RESERVE FUND (CRF)

	FY 2023 AMENDED	FY 2024 PROPOSED	VARIANCE FY23 TO FY24
1 REVENUES			
2 SPECIAL ASSESSMENTS - ON ROLL (NET)	\$ 222,628	\$ 300,000	\$ 77,372
3 INTEREST & MISCELLANEOUS	-	-	-
4 TOTAL REVENUES	222,628	300,000	77,372
6 EXPENDITURES			
7 CLUBHOUSE			
8 CLUBHOUSE METAL ROOFING			
9 INTERIOR PAINT			
10 EXTERIOR PAINT			
11 HVAC 3.0 TONS			
12 OFFICE CARPETING			
13 LIFE SAFETY SYSTEMS MODERNIZATION			
14 COMMUNITY SECURITY CAMERA SYSTEM			
15 CLUBHOUSE FURNITURE			
16 OFFICE FURNITURE			
17 OFFICE COMPUTER AND PRINTER		1,394	
18 RESTROOMS REFURBISHMENT			
19 KITCHEN CABINETS			
20 KITCHEN CABINETS			
21 KITCHEN REFRIGERATOR AND MICROWAVE			
22 TELEVISION			
23 TOTAL CLUBHOUSE	-	1,394	-
25 ENTRY AREAS			
26 ENTRY MONUMENTS METAL ROOFING			
27 ENTRY MONUMENTS PAINTING			
28 ENTRY MONUMENTS REFURBISHMENT			
29 TOTAL ENTRY AREAS	-	-	-
31 FOXTAIL POOL AREA			
32 POOL PUMPS AND EQUIPMENT		7,435	
33 POOL SHOWER			
34 POOL FURNITURE			
35 POOL MARCITE			
36 POOL MARCITE			
37 POOL PAVERS			
38 POOL FENCE 6' ALUMINUM			
39 POOL AREA PAVILION METAL ROOFING			
40 POOL AREA PAVILION PAINTING			
41 TRELLIS PAINTING			
42 TRELLIS REPLACEMENT			
43 POOL CABANA METAL ROOFING			
44 POOL CABANA EXTERIOR PAINTING			
45 POOL CABANA INTERIOR PAINTING			
46 POOL CABANA RESTROOMS REFURBISHMENT			
47 TOTAL FOXTAIL POOL AREA	-	7,435	-
49 GROUNDS			
50 SIDEWALK REPAIR ALLOWANCE		5,212	
51 STORMWATER DRAINAGE REPAIR ALLOWANCE		95,172	
52 POND BANKS EROSION CONTROL			
53 POND FOUNTAINS AND CONTROLS			
54 BRIDGE DECK BOARDS AND RAILINGS			

LONG LAKE RANCH CDD
FISCAL YEAR 2023-2024 PROPOSED BUDGET
CAPITAL RESERVE FUND (CRF)

		FY 2023 AMENDED	FY 2024 PROPOSED	VARIANCE FY23 TO FY24
55	BRIDGE FRAME AND PILINGS			
56	BRIDGE REPAIR ALLOWANCE		20,152	
57	WELL PUMPS			
58	TOTAL GROUNDS	-	120,536	-
59				
60	MAIL AREAS			
61	CLUBHOUSE MAIL PAVILION METAL ROOFING			
62	CLUBHOUSE MAIL PAVILION PAINTING			
63	CLUBHOUSE MAIL PAVILION PAINTING			
64	CLUBHOUSE MAIL KIOSKS			
65	FOXTAIL MAIL PAVILION METAL ROOFING			
66	FOXTAIL MAIL PAVILION PAINTING		273	
67	FOXTAIL MAIL KIOSKS			
68	PRIMROSE MAIL PAVILION METAL ROOFING			
69	PRIMROSE MAIL PAVILION PAINTING			
70	PRIMROSE MAIL KIOSKS			
71	TOTAL MAIL AREAS	-	273	-
72				
73	MAIN POOL AREA			
74	POOL MUSHROOM WATERFALL			
75	POOL PUMPS AND EQUIPMENT		17,460	
76	POOL SHOWER			
77	POOL SHOWER			
78	POOL FURNITURE		47,395	
79	POOL MARCITE			
80	POOL PAVERS			
81	POOL FENCE 6' ALUMINUM			
82	RETAINING WALL BEHIND POOL AREA			
83	POOL AREA PAVILIONS METAL ROOFING			
84	POOL AREA PAVILIONS PAINTING			
85	POOL AREA TABLE TENNIS			
86	TOTAL MAIN POOL AREA	-	64,855	-
87				
88	RECREATION			
89	BASKETBALL COURT COLOR COAT		3,644	
90	BASKETBALL HOOPS			
91	BASKETBALL HOOPS			
92	BASKETBALL PARK BENCHES			
93	TENNIS COURT COLOR COAT		12,223	
94	TENNIS FENCING CHAIN LINK			
95	TENNIS PAVILION METAL ROOFING			
96	TENNIS PAVILION PAINTING			
97	DOG PARKS FENCING 3' CHAIN LINK			
98	DOG PARKS PLAY STRUCTURES			
99	DOG PARK PAVILION METAL ROOFING			
100	DOG PARK PAVILION PAINTING			
101	DOG PARK PARK BENCHES			
102	COMMUNITY ACCESS SYSTEM			
103	PLAYGROUND RESTROOM BUILDING METAL ROOFING			
104	PLAYGROUND RESTROOM BUILDING EXTERIOR PAINTING			
105	PLAYGROUND RESTROOM BUILDING INTERIOR PAINTING			
106	PLAYGROUND RESTROOM BUILDING RESTROOMS REFURBISHMENT			
107	PLAYGROUND PAVILION METAL ROOFING			
108	PLAYGROUND PAVILION PAINTING			

LONG LAKE RANCH CDD
FISCAL YEAR 2023-2024 PROPOSED BUDGET
CAPITAL RESERVE FUND (CRF)

		FY 2023 AMENDED	FY 2024 PROPOSED	VARIANCE FY23 TO FY24
109	PLAYGROUND MAIN PLAY STRUCTURE WITH SLIDE			
110	PLAYGROUND SHADED PLAY STRUCTURE WITH SLIDE			
111	PLAYGROUND SMALL STRUCTURE			
112	PLAYGROUND BOULDERS			
113	PLAYGROUND			
114	PLAYGROUND FENCING 3' CHAIN LINK			
115	PLAYGROUND EQUIPMENT SHADE			
116	PLAYGROUND SWINGSET			
117	BBQ GRILLS			
118	ADA RAILINGS NEAR DOCK AND IN FRONT OF CLUBHOUSE			
119	TRASH CANS			
120	PICNIC TABLES			
121	DOCK DECK BOARDS AND RAILINGS			
122	DOCK FRAME AND PILINGS			
123	DOCK REPAIR ALLOWANCE		13,268	
124	TOTAL RECREATION	-	29,135	-
125				
126	STREETS AND PARKING AREAS			
127	CLUBHOUSE PARKING LOT 1 INCH MILL AND OVERLAY		6,263	
128	CLUBHOUSE PARKING LOT SEALCOAT			
129	TOWNHOMES STREETS AND PARKING 1 INCH MILL AND OVERLAY			
130	TOTAL STREETS AND PARKING AREAS	-	6,263	-
131				
132	WALLS AND FENCING			
133	DECORATIVE VINYL FENCE 6'			
134	VINYL FENCE 6'			
135	ALUMINUM FENCING 5'			
136	CHAIN LINK FENCING 6'			
137	SLOTTED 4' VINYL FENCE			
138	RETAINING WALL AND 3' ALUMINUM			
139	RETAINING WALL AND 3' ALUMINUM			
140	RETAINING WALL AND 4' ALUMINUM FENCE IN PRIMROSE			
141	TOTAL WALLS AND FENCING	-	-	-
142				
143	TOTAL EXPENDITURES	-	229,891	-
144				
145	OTHER FINANCING SOURCES & USES			
146	TRANSFER IN FROM GENERAL FUND	50,000	-	(50,000)
147	CAPITAL IMPROVEMENT PLAN (CIP)	(92,276)		92,276
148	CONTINGENCY	(9,228)		9,228
149	TOTAL OTHER FINANCING SOURCES & USES	(51,504)	-	51,504
150				
151	EXCESS OF REVENUES OVER (UNDER) EXPENDITURES	\$ 171,124	\$ 70,109	\$ 128,876
152				
153	FUND BALANCE			
154	FUND BALANCE - BEGINNING	906,832	236,580	
155	NET CHANGE IN FUND BALANCE	171,124	(65,456)	128,876
156	FUND BALANCE - ENDING	\$ 1,077,957	\$ 171,124	\$ 128,876

LONG LAKE RANCH CDD
FISCAL YEAR 2023-2024 PROPOSED BUDGET
O&M CONTRACT SUMMARY

	FINANCIAL STATEMENT CATEGORY	VENDOR	ANNUAL AMOUNT OF CONTRACT	COMMENTS (SCOPE OF SERVICE)
1	EXPENDITURES			
2	ADMINISTRATIVE			
3	SUPERVISORS - REGULAR MEETINGS	BOARD OF SUPERVISORS (BOS)	9,600.00	PER MEETING. 4 BOARD MEMBERS @ 200 EACH (ESTIMATE 12 MEETINGS)
4	SUPERVISORS - WORKSHOPS	BOARD OF SUPERVISORS	800.00	PER MEETING. 4 BOARD MEMBERS @ 200 EACH (ESTIMATE 1 MEETING)
5	PAYROLL TAXES (BOS)	FICA & FUTA	734.40	PAYROLL TAXED AT 7.65% (Board Of Supervisors)
6	PAYROLL SERVICE FEES	INNOVATIVE	600.00	APPROXIMATES \$50 PER PAY PERIOD & YE PROCESSING OF \$50
7	DISTRICT MANAGEMENT	DPFG	19,250.00	Services include the conducting of (1) two and one-half (2.5) hour board meeting per month, (one) 1 workshop per year, overall administration of District functions, and all required state and local filings, preparation of annual budget, purchasing and risk management. (DPFG is proposing a 4.2% increase total CPI increase for all services in FY2023)
8	ADMINISTRATIVE	DPFG	3,750.00	Services include support for the District Management function, recording and preparation of meeting minutes, records retention and maintenance in accordance with Chapter 119, Florida Statutes, and the District's adopted Rules of Procedure, preparation and delivery of the agenda
9	ACCOUNTING	DPFG	17,500.00	Services include the preparation and delivery of the District's financial statements in accordance with GASB, accounts payable and receivable functions, asset tracking , the administration of reports required by the State of Florida
10	ASSESSMENT ROLL PREPARATION	DPFG	4,000.00	Services include all functions necessary for the timely billing, collection and reporting of the District assessments in order to ensure adequate funds to meet the District's debt service and operations and maintenance obligations. Inclusive of assessment roll preparation and certification to the County.
11	DISSEMINATION AGENT	DPFG	4,000.00	The consultant shall serve as the District's dissemination agent under any applicable continuing disclosure undertaking of the District, which shall include fulfilling all duties of the Dissemination Agent set forth via the Trust Indenture
12	MEETING OVERCHARGES	VARIOUS	-	Miscellaneous items for administrative - such as meeting overtime
13	DISTRICT COUNSEL	KUTAK ROCK	32,000.00	Provides general legal services, review of contracts, agreements and other research assigned and directed by the Board and District Management throughout the year. Amount is based on current sending of the District for this service.
14	DISTRICT ENGINEER	JOHNSON ENGINEERING	14,000.00	Provides general engineering services to District, i.e. attendance & preparation for monthly board meetings and other specifically requested assignments throughout the year. Amount reflected is based on current spending.
15	ARBITRAGE REBATE CALCULATION	LLS TAX SOLUTIONS	1,500.00	The District is required to calculate interest earned from bond proceeds each year pursuant to the Internal Revenue Code. The Rebate Analyst is required to verify tha the District has not received earnings higher than the yield of the bonds.
16	TRUSTEE FEES	US BANK	15,701.00	Confirmed amount with U.S. Bank - Trustee for outstanding Series and for the oversight of the various trust accounts related to the Serieoutstanding bonds. The trustee is chosen as part of the bond issuance process.
17	BANK FEES	VARIOUS	150.00	AMOUNT IS FOR MISC ITEMS SUCH AS PRINTED CHECKS OR ANY RETURNED DEPOSITS
18	AUDITING	GRAU	6,000.00	State law requires the District to undertake an annual independent audit. The budgeted amount reflects an estimated amount as the District will need to go our for RFP
19	REGULATORY AND PERMIT FEES	FLORIDA DEPARTMENT OF ECONOMIC OPPORTUNITIES	175.00	STATUTORILY FIXED
20	TAX COLLECTOR	PASCO COUNTY GOVERNMENT	250.00	Property tax related to 2042 Lake Waters Place and 19037 Long Lake Ranch Blvd.
21	LEGAL ADVERTISEMENTS	VARIOUS PUBLICATIONS	1,500.00	The District is required to advertise various items pursuant to Statutory requirements. The items incude meeting schedules, special meeting notices, public hearings and bidding, etc. for the District and any other statutory requirements.
22	WEBSITE HOSTING	CAMPUS SUITE	2,400.00	Campus Suite to provide website and hosting, and the remediation of 750 pages of documents. Costs associated with ongoing audits and website remediation for ADA compliance
23	TOTAL ADMINISTRATIVE		133,910.40	

LONG LAKE RANCH CDD
FISCAL YEAR 2023-2024 PROPOSED BUDGET
O&M CONTRACT SUMMARY

	FINANCIAL STATEMENT CATEGORY	VENDOR	ANNUAL AMOUNT OF CONTRACT	COMMENTS (SCOPE OF SERVICE)
24	INSURANCE			
25	PUBLIC OFFICIALS, GENERAL LIABILITY & PROPERTY INSURANCE	Florida Insurance Alliance (FIA)	27,153.60	The District will incur expenditures for public officials and General Liability insurance
26	TOTAL INSURANCE		27,153.60	
27	UTILITIES			
28	UTILITIES - ELECTRICITY	DUKE ENERGY	90,000.00	
29	UTILITIES - STREETLIGHTS	DUKE ENERGY	150,000.00	
30	UTILITIES - WATER/SEWER	PASCO COUNTY UTILITIES	11,000.00	Water and sewer services for 0 Community Center and 18981 Long Lake Ranch Blvd. (Estimates for Utilities are up 15%)
31	UTILITIES - SOLID WASTE REMOVAL	COUNTY SANITATION	2,500.00	Solid waste disposal services
32	TOTAL UTILITIES		253,500.00	
33	SECURITY			
34	SECURITY MONITORING SERVICES	SECURITEAM	-	Removed
35	SECURITY MISCELLANEOUS EXPENSE (EQUIPMENT REPAIRS & MAINT, ACCESS CARDS)	SECURITY REPAIRS & MAINTENANCE	7,500.00	VARIOUS REPAIRS & MAINTENANCE TO THE EXISTING HARDWARE INFRASTRUCTURE
36	TOTAL SECURITY		7,500.00	
37	PHYSICAL ENVIRONMENT			
38	FIELD SERVICES	DPFG	5,000.00	Services include oversight of field services maintenance, including managing vendor contracts relating to District facilities and landscape/irrigation maintenance (DPFG proposed CPI increase of 5% for Field Services)
39	FOUNTAIN SERVICE REPAIRS & MAINTENANCE	STEADFAST ENVIRONMENTAL	3,500.00	Equipment under agreement is (1) Vertex fountain at Borrow Lake, (1) at Pond 20, (1) at Pond 30, & (2) at Big Lake. Includes inspection of moving parts, wear and tear, filter cleaning and nozzle cleaning - \$1,920. Added additional for parts for repair if needed
40	AQUATIC MAINTENANCE	GHS ENVIRONMENTAL	29,520.00	Aquatic weed control in the 26 ponds/floodplain areas
41	MITIGATION AREA MONITORING & MAINTENANCE	FLORIDA NATIVES NURSERY	3,100.00	Mitigation Maintenance & Compliance Monitoring
42	AQUATIC PLANT REPLACEMENT	GHS ENVIRONMENTAL	2,750.00	Plantings to increase the overall health of the pond while also providing for erosion stabilization
43	STORMWATER SYSTEM MAINTENANCE	MISCELLANEOUS	-	
44	MIDFE FLY TREATMENTS	GHS ENVIRONMENTAL	-	
45	FISH STOCKING	GHS ENVIRONMENTAL	11,100.00	MOSQUITO FISH STOCKING
46	LAKE & POND MAINTENANCE	MISCELLANEOUS	12,000.00	
47	ENTRY & WALLS MAINTENANCE	MISCELLANEOUS	5,500.00	
48	LANDSCAPE MAINTENANCE - CONTRACT	RED TREE	172,305.00	

LONG LAKE RANCH CDD
FISCAL YEAR 2023-2024 PROPOSED BUDGET
O&M CONTRACT SUMMARY

	FINANCIAL STATEMENT CATEGORY	VENDOR	ANNUAL AMOUNT OF CONTRACT	COMMENTS (SCOPE OF SERVICE)
49	LANDSCAPE REPLACEMENT MULCH	RED TREE	70,000.00	MULCH - \$30,000 PER APPLICATION FOR 800 CY. ADDITIONAL MULCH NEEDS INCREASED BY 700 CY
50	LANDSCAPE REPLACEMENT ANNUALS	RED TREE	29,000.00	
51	LANDSCAPE REPLACEMENT PLANTS & SHRUBS	RED TREE	45,000.00	ADDITIONAL AMOUNTS APPROPRIATED FOR THE REPLACEMENT OF PLANT ASSETS
52	TREE TRIMMING & MAINTENANCE	RED TREE	16,000.00	ANNUAL TREE TRIMMING AND MAINTENANCE
53	OTHER LANDSCAPE-FIRE ANT TREAT	RED TREE	4,500.00	AS NEEDED FOR THE TREATMENT OF FIRE ANTS
54	IRRIGATION REPAIRS & MAINTENANCE	RED TREE	12,000.00	ESTIMATED FOR PARTS & LABOR TO REPAIR THE IRRIGATION SYSTEM
55	DECORATIVE LIGHT MAINTENANCE	ILLUMINATION HOLIDAY LIGHTING	9,050.00	HOLIDAY LIGHTING FOR 12 ENTRY MONUMENTS - \$7,200 AND MAIN ENTRANCE at 54 and SunLake - \$1,850
56	FIELD CONTINGENCY	CONTINGENCY	22,000.00	FOR MISCELLANEOUS UNBUDGETED EXPENSES
57	TOTAL PHYSICAL ENVIROMENT		452,325.00	
58	ROAD & STREET FACILITIES			
59	SIDEWALK REPAIR & MAINTENANCE	MISCELLANEOUS	1,000.00	REPAIRS FOR ANY SIDEWALK RELATED ISSUES
60	ROADWAY REPAIR & MAINTENANCE	MISCELLANEOUS	1,000.00	REPAIRS FOR ANY ROADWAY ISSUES
61	SIGNAGE REPAIR & REPLACEMENT	MISCELLANEOUS	5,000.00	REPAIRS FOR ANY STREET SIGNS
62	TOTAL ROAD & STREET FACILITIES		7,000.00	
63	PARKS AND RECREATION			
64	CLUBHOUSE MANAGEMENT	VESTA PROPERTY MANAGEMENT	128,256.73	Clubhouse Manager= \$76,256.73, facility attendant/janitorial= \$16,640, facility maintenance \$28,080, Summer FA/Pool Monitor \$7,280
65	POOL MAINTENANCE - CONTRACT	VESTA PROPERTY MANAGEMENT	28,891.00	SERVICE TO BE PERFORMED 3X WEEKLY FOR 2 POOLS, ALL CHEMICALS ARE INCLUDED. INCLUDED IN THE VESTA CONTRACT
66	DOG WASTE STATION SUPPLIES	VESTA PROPERTY MANAGEMENT	5,460.00	10 Stations, twice weekly remove all waste from every receptacle within the community. Bags are included. Replace trash can liners.
67	MAINTENANCE REPAIR	MISCELLANEOUS	21,000.00	As needed for the repair & maintenance
68	OFFICE SUPPLIES	MISCELLANEOUS	500.00	Office Supplies for the facility
69	FURNITURE REPAIR/REPLACEMENT	MISCELLANEOUS	1,750.00	AS NEEDED FOR FURNITURE REPAIR & MAINTENANCE
70	POOL MAINTENANCE & REPAIRS	PROTEUS POOLS	1,650.00	ADDITIONAL SERVICE REPAIRS FOR THE POOLS
71	POOL PERMIT	STATE OF FLORIDA DEPARTMENT OF HEALTH	1,000.00	ESTIMATED
72	COMMUNICATIONS (TEL, CELL, INT)	FRONTIER	5,000.00	Service for business internet, business voice and business tv. Service provided at 2042 Lake Waters Place and 18981 Liong Lake Blvd.
73	FACILITY A/C & HEATING MAINTENANCE & REPAIRS	AS NEEDED	2,000.00	As needed for repairs to HVAC system

LONG LAKE RANCH CDD
FISCAL YEAR 2023-2024 PROPOSED BUDGET
O&M CONTRACT SUMMARY

	FINANCIAL STATEMENT CATEGORY	VENDOR	ANNUAL AMOUNT OF CONTRACT	COMMENTS (SCOPE OF SERVICE)
74	COMPUTER SUPPORT MAINTENANCE & REPAIR	AS NEEDED	1,000.00	As needed repairs for the repairs of the computer system
75	PLAYGROUND EQUIPMENT & MAINTENANCE	AS NEEDED	1,100.00	As needed for repairs of playground equipment
76	ATHLETIC/PARK & COURT/FIELD REPAIRS	AS NEEDED	5,500.00	As needed for repairs to the athletic park
77	PEST CONTROL	NVIROTECH	2,460.00	Pursuant to contract for pest control services
78	CLUBHOUSE SUPPLIES		2,500.00	
79	TOTAL PARKS AND RECREATION		208,067.73	
80	PROJECT BUDGET			
81	PRESSURE WASHING		33,000.00	
82	CAPITAL OUTLAY			
83	TOTAL PROJECT BUDGET		33,000.00	

**LONG LAKE RANCH CDD
FISCAL YEAR 2023-2024 PROPOSED BUDGET
ASSESSMENT ALLOCATION**

O&M ADMIN BUDGET	
NET O&M ADMIN BUDGET	\$161,064.00
COUNTY COLLECTION COSTS	\$3,426.89
EARLY PAYMENT DISCOUNT	<u>\$6,853.79</u>
GROSS O&M ADMIN ASSESSMENT	<u>\$171,344.68</u>

O&M FIELD BUDGET	
NET O&M FIELD BUDGET	\$961,392.73
COUNTY COLLECTION COSTS	\$20,455.16
EARLY PAYMENT DISCOUNT	<u>\$40,910.33</u>
GROSS O&M FIELD ASSESSMENT	<u>\$1,022,758.22</u>

CAPITAL RESERVE FUND (CRF)	
NET CAPITAL RESERVE FUND	\$300,000.00
COUNTY COLLECTION COSTS	\$6,382.98
EARLY PAYMENT DISCOUNT	<u>\$12,765.96</u>
GROSS CRF ASSESSMENT	<u>\$319,148.94</u>

UNIT SIZE & PHASE	UNITS ASSESSED				ALLOCATION OF ADMIN O&M ASSESSMENT					ALLOCATION OF FIELD O&M ASSESSMENT					ALLOCATION OF CAPITAL RESERVE ASSESSMENT				
	O&M	SERIES 2014A-1 DEBT SERVICE ⁽¹⁾	SERIES 2015A-1 DEBT SERVICE ⁽¹⁾	SERIES 2016 DEBT SERVICE ⁽¹⁾	ERU FACTOR	TOTAL ERU's	% TOTAL ERU's	TOTAL ADMIN O&M	ADMIN O&M PER LOT	ERU FACTOR	TOTAL ERU's	% TOTAL ERU's	TOTAL FIELD O&M	FIELD O&M PER LOT	ERU FACTOR	TOTAL ERU's	% TOTAL ERU's	TOTAL CAPITAL RESERVE	CAPITAL RESERVE PER LOT
PHASES 1 & 2																			
TOWNHOME/ATTACHED	116	116			1.00	116.0	13.65%	\$23,383.51	\$201.58	0.85	98.6	12.03%	\$123,070.49	\$1,060.95	0.85	98.6	12.03%	\$38,403.81	\$331.07
SINGLE FAMILY 45'	86	86			1.00	86.0	10.12%	\$17,336.05	\$201.58	0.95	81.7	9.97%	\$101,976.26	\$1,185.77	0.95	81.7	9.97%	\$31,821.42	\$370.02
SINGLE FAMILY 55'	144	142			1.00	144.0	16.94%	\$29,027.80	\$201.58	1.00	144.0	17.57%	\$179,737.84	\$1,248.18	1.00	144.0	17.57%	\$56,086.71	\$389.49
SINGLE FAMILY 65'	35	35			1.00	35.0	4.12%	\$7,055.37	\$201.58	1.05	36.8	4.48%	\$45,870.59	\$1,310.59	1.05	36.8	4.48%	\$14,313.79	\$408.97
PHASE 3																			
TOWNHOME/ATTACHED	83		83		1.00	83.0	9.76%	\$16,731.30	\$201.58	0.85	70.6	8.61%	\$88,059.06	\$1,060.95	0.85	70.6	8.61%	\$27,478.59	\$331.07
SINGLE FAMILY 45'	28		28		1.00	28.0	3.29%	\$5,644.30	\$201.58	0.95	26.6	3.25%	\$33,201.57	\$1,185.77	0.95	26.6	3.25%	\$10,360.46	\$370.02
SINGLE FAMILY 55'	110		110		1.00	110.0	12.94%	\$22,174.02	\$201.58	1.00	110.0	13.42%	\$137,299.74	\$1,248.18	1.00	110.0	13.42%	\$42,844.01	\$389.49
SINGLE FAMILY 65'	49		49		1.00	49.0	5.76%	\$9,877.52	\$201.58	1.05	51.5	6.28%	\$64,218.83	\$1,310.59	1.05	51.5	6.28%	\$20,039.31	\$408.97
PHASE 4																			
SINGLE FAMILY 45'	61			60	1.00	61.0	7.18%	\$12,296.50	\$201.58	0.95	58.0	7.07%	\$72,332.00	\$1,185.77	0.95	58.0	7.07%	\$22,571.00	\$370.02
SINGLE FAMILY 55'	62			62	1.00	62.0	7.29%	\$12,498.08	\$201.58	1.00	62.0	7.57%	\$77,387.12	\$1,248.18	1.00	62.0	7.57%	\$24,148.44	\$389.49
SINGLE FAMILY 65'	76			75	1.00	76.0	8.94%	\$15,320.23	\$201.58	1.05	79.8	9.74%	\$99,604.72	\$1,310.59	1.05	79.8	9.74%	\$31,081.38	\$408.97
	850	379	270	197		850.0	100.00%	<u>\$171,344.68</u>			819.4	100.00%	<u>\$1,022,758.22</u>			819.4	100.00%	<u>\$319,148.94</u>	

UNIT SIZE & PHASE	PER UNIT ANNUAL ASSESSMENT ⁽²⁾				PROPOSED TOTAL PER UNIT ⁽³⁾
	TOTAL O&M & CRF PER LOT	SERIES 2014A-1 DEBT SERVICE	SERIES 2015A-1 DEBT SERVICE	SERIES 2016 DEBT SERVICE	
PHASES 1 & 2					
TOWNHOME/ATTACHED	\$1,593.60	\$637.76			\$2,231.36
SINGLE FAMILY 45'	\$1,757.37	\$850.34			\$2,607.71
SINGLE FAMILY 55'	\$1,839.25	\$1,062.93			\$2,902.18
SINGLE FAMILY 65'	\$1,921.14	\$1,169.22			\$3,090.36
PHASE 3					
TOWNHOME/ATTACHED	\$1,593.60		\$637.76		\$2,231.36
SINGLE FAMILY 45'	\$1,757.37		\$850.34		\$2,607.71
SINGLE FAMILY 55'	\$1,839.25		\$1,062.93		\$2,902.18
SINGLE FAMILY 65'	\$1,921.14		\$1,169.22		\$3,090.36
PHASE 4					
SINGLE FAMILY 45'	\$1,757.37			\$850.04	\$2,607.41
SINGLE FAMILY 55'	\$1,839.25			\$1,062.55	\$2,901.80
SINGLE FAMILY 65'	\$1,921.14			\$1,168.80	\$3,089.94

FY 2022 PER LOT	VARIANCE FY22 VS FY23 % VARIANCE PER LOT	
\$2,072.48	\$158.88	7.7%
\$2,432.10	\$175.60	7.2%
\$2,718.21	\$183.97	6.8%
\$2,898.02	\$192.33	6.6%
\$2,072.48	\$158.88	7.7%
\$2,432.10	\$175.60	7.2%
\$2,718.21	\$183.97	6.8%
\$2,898.02	\$192.33	6.6%
\$2,431.80	\$175.60	7.2%
\$2,717.83	\$183.97	6.8%
\$2,897.60	\$192.33	6.6%

⁽¹⁾ Reflects the total number of lots with Series 2014A-1, 2015A-1 and 2016 debt outstanding.

⁽²⁾ Annual debt service assessments per unit adopted in connection with the Series 2014A-1 2015A-1 & 2016 bond issuances. Annual Debt Service Assessments includes principal, interest, Pasco County collection costs and early payment discounts.

⁽³⁾ Annual assessments that will appear on the November, 2022 Pasco County property tax bill. Amount shown includes all applicable county collection costs (2%) and early payment discounts (up to 4% if paid early).

LONG LAKE RANCH CDD
FISCAL YEAR 2023-2024 PROPOSED BUDGET
DEBT SERVICE REQUIREMENTS

	Chart of Accounts	Series 2014A-1	Series 2015A-1	Series 2016	FY 2022-2023 Budget
1	REVENUES				
2	NET SPECIAL ASSESSMENTS ⁽¹⁾	\$ 318,994	\$ 235,938	\$ 191,881	\$ 746,813
3					
4	TOTAL REVENUES	318,994	235,938	191,881	746,813
5					
6	EXPENDITURES				
7	DEBT SERVICE REQUIREMENT				
8	5/1/2024				
9	INTEREST	113,231	86,319	61,800	261,350
10	PRINCIPAL	90,000	65,000	65,000	220,000
11	11/1/2024				
12	INTEREST	110,700	84,369	60,500	255,569
13					
14	TOTAL EXPENDITURES	313,931	235,688	187,300	736,919
15					
16	EXCESS OF REVENUES OVER EXPENDITURES	\$ 5,063	\$ 250	\$ 4,581	\$ 9,894

Net Debt Service Assessments	\$ 746,812.50
Pasco County Collection Costs (2%) and Early Payment Discounts (4%)	\$ 47,668.88
Gross Debt Service Assessments	\$ 794,481.38

⁽¹⁾ Maximum Annual Debt Service (MADS) less any prepaid assessments received.

LONG LAKE RANCH CDD
FISCAL YEAR 2023-2024 PROPOSED BUDGET
SERIES 2014A-1 CAPITAL IMPROVEMENT REVENUE BOND AMORTIZATION SCHEDULE

Period Ending	Principal	Coupon	Interest	Debt Service	Annual Debt Service	Bonds Outstanding
						3,955,000
11/1/2021		5.625%	118,153	118,153	118,153	3,955,000
5/1/2022	85,000	5.625%	118,153	203,153		3,870,000
11/1/2022	-	5.625%	115,763	115,763	318,916	3,870,000
5/1/2023	90,000	5.625%	115,763	205,763		3,780,000
11/1/2023	-	5.625%	113,231	113,231	318,994	3,780,000
5/1/2024	90,000	5.625%	113,231	203,231		3,690,000
11/1/2024	-	6.000%	110,700	110,700	313,931	3,690,000
5/1/2025	100,000	6.000%	110,700	210,700		3,590,000
11/1/2025	-	6.000%	107,700	107,700	318,400	3,590,000
5/1/2026	105,000	6.000%	107,700	212,700		3,485,000
11/1/2026	-	6.000%	104,550	104,550	317,250	3,485,000
5/1/2027	110,000	6.000%	104,550	214,550		3,375,000
11/1/2027	-	6.000%	101,250	101,250	315,800	3,375,000
5/1/2028	120,000	6.000%	101,250	221,250		3,255,000
11/1/2028	-	6.000%	97,650	97,650	318,900	3,255,000
5/1/2029	125,000	6.000%	97,650	222,650		3,130,000
11/1/2029	-	6.000%	93,900	93,900	316,550	3,130,000
5/1/2030	135,000	6.000%	93,900	228,900		2,995,000
11/1/2030	-	6.000%	89,850	89,850	318,750	2,995,000
5/1/2031	140,000	6.000%	89,850	229,850		2,855,000
11/1/2031	-	6.000%	85,650	85,650	315,500	2,855,000
5/1/2032	150,000	6.000%	85,650	235,650		2,705,000
11/1/2032	-	6.000%	81,150	81,150	316,800	2,705,000
5/1/2033	160,000	6.000%	81,150	241,150		2,545,000
11/1/2033	-	6.000%	76,350	76,350	317,500	2,545,000
5/1/2034	170,000	6.000%	76,350	246,350		2,375,000
11/1/2034	-	6.000%	71,250	71,250	317,600	2,375,000
5/1/2035	180,000	6.000%	71,250	251,250		2,195,000
11/1/2035	-	6.000%	65,850	65,850	317,100	2,195,000
5/1/2036	190,000	6.000%	65,850	255,850		2,005,000
11/1/2036	-	6.000%	60,150	60,150	316,000	2,005,000
5/1/2037	200,000	6.000%	60,150	260,150		1,805,000
11/1/2037	-	6.000%	54,150	54,150	314,300	1,805,000
5/1/2038	215,000	6.000%	54,150	269,150		1,590,000
11/1/2038	-	6.000%	47,700	47,700	316,850	1,590,000
5/1/2039	230,000	6.000%	47,700	277,700		1,360,000
11/1/2039	-	6.000%	40,800	40,800	318,500	1,360,000

LONG LAKE RANCH CDD
FISCAL YEAR 2023-2024 PROPOSED BUDGET
SERIES 2014A-1 CAPITAL IMPROVEMENT REVENUE BOND AMORTIZATION SCHEDULE

Period Ending	Principal	Coupon	Interest	Debt Service	Annual Debt Service	Bonds Outstanding
5/1/2040	240,000	6.000%	40,800	280,800		1,120,000
11/1/2040	-	6.000%	33,600	33,600	314,400	1,120,000
5/1/2041	255,000	6.000%	33,600	288,600		865,000
11/1/2041	-	6.000%	25,950	25,950	314,550	865,000
5/1/2042	270,000	6.000%	25,950	295,950		595,000
11/1/2042	-	6.000%	17,850	17,850	313,800	595,000
5/1/2043	290,000	6.000%	17,850	307,850		305,000
11/1/2043	-	6.000%	9,150	9,150	317,000	305,000
5/1/2044	305,000	6.000%	9,150	314,150	314,150	-
Total	\$ 3,955,000		\$ 3,444,694	\$ 7,399,694	\$ 7,399,694	

Max Annual DS: 318,994

Footnote:

Data herein for the CDD's budgetary process purposes only.

LONG LAKE RANCH CDD
FISCAL YEAR 2023-2024 PROPOSED BUDGET
SERIES 2015A-1 CAPITAL IMPROVEMENT REVENUE BOND AMORTIZATION SCHEDULE

Period Ending	Principal	Coupon	Interest	Debt Service	Annual Debt Service	Bonds Outstanding
						2,920,000
11/1/2021		6.000%	89,769	89,769	89,769	2,920,000
5/1/2022	55,000	6.000%	89,769	144,769		2,865,000
11/1/2022	-	6.000%	88,119	88,119	232,888	2,865,000
5/1/2023	60,000	6.000%	88,119	148,119		2,805,000
11/1/2023	-	6.000%	86,319	86,319	234,438	2,805,000
5/1/2024	65,000	6.000%	86,319	151,319		2,740,000
11/1/2024	-	6.000%	84,369	84,369	235,688	2,740,000
5/1/2025	65,000	6.000%	84,369	149,369		2,675,000
11/1/2025	-	6.000%	82,419	82,419	231,788	2,675,000
5/1/2026	70,000	6.000%	82,419	152,419		2,605,000
11/1/2026	-	6.000%	80,319	80,319	232,738	2,605,000
5/1/2027	75,000	6.000%	80,319	155,319		2,530,000
11/1/2027	-	6.000%	78,069	78,069	233,388	2,530,000
5/1/2028	80,000	6.000%	78,069	158,069		2,450,000
11/1/2028	-	6.000%	75,669	75,669	233,738	2,450,000
5/1/2029	85,000	6.000%	75,669	160,669		2,365,000
11/1/2029	-	6.000%	73,119	73,119	233,788	2,365,000
5/1/2030	90,000	6.000%	73,119	163,119		2,275,000
11/1/2030	-	6.000%	70,419	70,419	233,538	2,275,000
5/1/2031	95,000	6.000%	70,419	165,419		2,180,000
11/1/2031	-	6.000%	67,569	67,569	232,988	2,180,000
5/1/2032	100,000	6.000%	67,569	167,569		2,080,000
11/1/2032	-	6.000%	64,569	64,569	232,138	2,080,000
5/1/2033	110,000	6.000%	64,569	174,569		1,970,000
11/1/2033	-	6.000%	61,269	61,269	235,838	1,970,000
5/1/2034	115,000	6.000%	61,269	176,269		1,855,000
11/1/2034	-	6.000%	57,819	57,819	234,088	1,855,000
5/1/2035	120,000	6.000%	57,819	177,819		1,735,000
11/1/2035	-	6.250%	54,219	54,219	232,038	1,735,000
5/1/2036	130,000	6.250%	54,219	184,219		1,605,000
11/1/2036	-	6.250%	50,156	50,156	234,375	1,605,000
5/1/2037	135,000	6.250%	50,156	185,156		1,470,000
11/1/2037	-	6.250%	45,938	45,938	231,094	1,470,000
5/1/2038	145,000	6.250%	45,938	190,938		1,325,000
11/1/2038	-	6.250%	41,406	41,406	232,344	1,325,000
5/1/2039	155,000	6.250%	41,406	196,406		1,170,000
11/1/2039	-	6.250%	36,563	36,563	232,969	1,170,000

LONG LAKE RANCH CDD
FISCAL YEAR 2023-2024 PROPOSED BUDGET
SERIES 2015A-1 CAPITAL IMPROVEMENT REVENUE BOND AMORTIZATION SCHEDULE

Period Ending	Principal	Coupon	Interest	Debt Service	Annual Debt Service	Bonds Outstanding
5/1/2040	165,000	6.250%	36,563	201,563		1,005,000
11/1/2040	-	6.250%	31,406	31,406	232,969	1,005,000
5/1/2041	175,000	6.250%	31,406	206,406		830,000
11/1/2041		6.250%	25,938	25,938	232,344	830,000
5/1/2042	190,000	6.250%	25,938	215,938		640,000
11/1/2042	-	6.250%	20,000	20,000	235,938	640,000
5/1/2043	200,000	6.250%	20,000	220,000		440,000
11/1/2043	-	6.250%	13,750	13,750	233,750	440,000
5/1/2044	215,000	6.250%	13,750	228,750		225,000
11/1/2044		6.250%	7,031	7,031	235,781	225,000
5/1/2045	225,000	6.250%	7,031	232,031	232,031	-
Total	\$ 2,920,000		\$ 2,772,438	\$ 5,692,438	\$ 5,692,438	

Max Annual DS: 235,938

Footnote:

Data herein for the CDD's budgetary process purposes only.

LONG LAKE RANCH CDD
FISCAL YEAR 2023-2024 PROPOSED BUDGET
SERIES 2016 CAPITAL IMPROVEMENT REVENUE BOND AMORTIZATION SCHEDULE

Period Ending	Principal	Coupon	Interest	Debt Service	Annual Debt Service	Bonds Outstanding
						2,725,000
5/1/2023	65,000	4.000%	63,100	128,100		2,660,000
11/1/2023	-	4.000%	61,800	61,800	189,900	2,660,000
5/1/2024	65,000	4.000%	61,800	126,800		2,595,000
11/1/2024	-	4.000%	60,500	60,500	187,300	2,595,000
5/1/2025	70,000	4.000%	60,500	130,500		2,525,000
11/1/2025	-	4.000%	59,100	59,100	189,600	2,525,000
5/1/2026	75,000	4.000%	59,100	134,100		2,450,000
11/1/2026	-	4.625%	57,600	57,600	191,700	2,450,000
5/1/2027	75,000	4.625%	57,600	132,600		2,375,000
11/1/2027	-	4.625%	55,866	55,866	188,466	2,375,000
5/1/2028	80,000	4.625%	55,866	135,866		2,295,000
11/1/2028	-	4.625%	54,016	54,016	189,881	2,295,000
5/1/2029	85,000	4.625%	54,016	139,016		2,210,000
11/1/2029	-	4.625%	52,050	52,050	191,066	2,210,000
5/1/2030	85,000	4.625%	52,050	137,050		2,125,000
11/1/2030	-	4.625%	50,084	50,084	187,134	2,125,000
5/1/2031	90,000	4.625%	50,084	140,084		2,035,000
11/1/2031	-	4.625%	48,003	48,003	188,088	2,035,000
5/1/2032	95,000	4.625%	48,003	143,003		1,940,000
11/1/2032	-	4.625%	45,806	45,806	188,809	1,940,000
5/1/2033	100,000	4.625%	45,806	145,806		1,840,000
11/1/2033	-	4.625%	43,494	43,494	189,300	1,840,000
5/1/2034	105,000	4.625%	43,494	148,494		1,735,000
11/1/2034	-	4.625%	41,066	41,066	189,559	1,735,000
5/1/2035	110,000	4.625%	41,066	151,066		1,625,000
11/1/2035	-	4.625%	38,522	38,522	189,588	1,625,000
5/1/2036	115,000	4.625%	38,522	153,522		1,510,000
11/1/2036	-	4.750%	35,863	35,863	189,384	1,510,000
5/1/2037	120,000	4.750%	35,863	155,863		1,390,000
11/1/2037	-	4.750%	33,013	33,013	188,875	1,390,000
5/1/2038	125,000	4.750%	33,013	158,013		1,265,000
11/1/2038	-	4.750%	30,044	30,044	188,056	1,265,000
5/1/2039	135,000	4.750%	30,044	165,044		1,130,000
11/1/2039	-	4.750%	26,838	26,838	191,881	1,130,000
5/1/2040	140,000	4.750%	26,838	166,838		990,000
11/1/2040	-	4.750%	23,513	23,513	190,350	990,000
5/1/2041	145,000	4.750%	23,513	168,513		845,000

LONG LAKE RANCH CDD
FISCAL YEAR 2023-2024 PROPOSED BUDGET
SERIES 2016 CAPITAL IMPROVEMENT REVENUE BOND AMORTIZATION SCHEDULE

Period Ending	Principal	Coupon	Interest	Debt Service	Annual Debt Service	Bonds Outstanding
11/1/2041		4.750%	20,069	20,069	188,581	845,000
5/1/2042	155,000	4.750%	20,069	175,069		690,000
11/1/2042	-	4.750%	16,388	16,388	191,456	690,000
5/1/2043	160,000	4.750%	16,388	176,388		530,000
11/1/2043	-	4.750%	12,588	12,588	188,975	530,000
5/1/2044	170,000	4.750%	12,588	182,588		360,000
11/1/2044		4.750%	8,550	8,550	191,138	360,000
5/1/2045	175,000	4.750%	8,550	183,550	183,550	185,000
11/1/2045		4.750%	4,394	4,394	4,394	185,000
5/1/2046	185,000	4.750%	4,394	189,394	189,394	-
Total	\$ 2,725,000		\$ 1,821,425	\$ 4,546,425	\$ 4,546,425	

Max Annual DS: 191,881

Footnote:

Data herein for the CDD's budgetary process purposes only.

EXHIBIT 17



FLORIDA INSURANCE ALLIANCE



Long Lake Ranch Community Development District

Date of Visit: Wednesday, February 22, 2023, at 11:30 AM

District Manager: Tish Dobson, tdobson@dpfgmc.com

Address: 18981 Long Lake Ranch Blvd, Land O'Lakes, FL 34638

Egis Attendees: Ryan Rupnarain, Sr. Manager, Loss Control
Brent Grimmel, SVP Agency Operations
Charisse Bitner, Account Manager

Visit Overview

The purpose of the visit on the above referenced date was to allow our team to review the Long Lake Ranch Community Development District from a risk management perspective. While on site, we had the opportunity to review the insured property schedule and made note any necessary updates. Your Account Manager may provide an updated schedule for your review and acceptance. The visit also allowed us to support the district's loss control efforts by identifying any hazards that could lead to accidents and claims and discuss recommendations to remediate any loss producing conditions. Those recommendations are included in this letter. While we did not have the opportunity to observe all areas owned and/or maintained by the district, we feel that the areas we were able to observe are representative of the general condition of the property.

District Summary

The district, established in 2013, consists of approximately 399 acres and includes 850 housing units. District owned amenities include a clubhouse with meeting space, resort style pool with splash zone, tennis and basketball courts, multiple picnic areas with tables and grills, a dog park, and playgrounds for ages 2 - 12. A second pool and cabana area are located within the town-home part of the community. The district also includes a trail and boardwalk system that includes areas adjacent to the district's central lake and conservation areas.

District Ownership and Maintenance Responsibilities

In addition to the amenities noted above, the district owns and maintains portions of the surface water management system which includes detention and floodplain mitigation ponds. Certain roads throughout are owned by the district as well as certain sidewalks, including the townhome portion of the community. Onsite management is led by a clubhouse manager under a contract with Vesta Property Services.

Loss Control Observations

Observations below have been placed into recommendation categories based on the likelihood and severity potential of each exposure and related losses. Placement may also be based on lessons learned from claims experience with similar districts and loss sources.

Strengths

Strengths highlight some of the existing risk mitigation strategies in place. Consistent application is important to the district's overall risk management program.

- District facilities observed during the visit are overall well maintained.
- Good use of warning and rules signage throughout the community.
- Signage warning of wildlife are present near ponds.
- Dog park includes dual gated entry.

Critical Recommendations

Critical recommendations are associated with exposures and hazards that can represent a significant danger or risk warranting immediate attention. While follow-up for all recommendations is encouraged, items in the critical category may require documented resolution (i.e. photos) and review by FIA's Risk Services team if indicated in the recommendation description.

- No critical recommendations are provided at this time.

Important Recommendations

Important recommendations are provided to address exposures that if not corrected, have the potential to result in moderate injury or property/liability losses.

- Exterior stair nosing
- Floating dock trip hazard
- Pool channel drains

Exterior Stair Nosing – The stairs shown below provide access to the dock and trail area from the amenity center. Uniformity in color can make it difficult to distinguish where one step ends and another starts, which can contribute to falls.



Recommendation – Consider highlighting the stair nosing with a contrasting color to help delineate each step. Doing so would be consistent with the stairs at the amenity center entrance shown below.



Floating Dock Trip Hazard – Elevation changes will vary where floating docks meet fixed areas, such as the main dock structure.

Recommendation – To reduce the likelihood of trip and fall incidents, consider highlighting the elevation change so that users may exercise caution.



Pool Channel Drains – Uneven surfaces on the pool deck, such as those where the channel drains meet the pavers below, may contribute to trips and falls.

Recommendation – Implement a solution to equalize the height of the pavers and channel drains to eliminate associated hazards.



Advisory Recommendations

Advisory recommendations are provided to address exposures that while having the potential for loss, would not normally result in a significant or severe loss. These recommendations are typically provided to share best practices.

- Grill Rules

Grill Rules – Rules signage can help in supporting continued safe use of the district’s outdoor grills.

Recommendation – Consider the addition of signage that addresses the proper disposal of hot ashes, checking the surrounding area for flammable debris, and supervision of children. A sample sign is included below.



EXHIBIT 18

PASCO COUNTY BUILDING PERMIT

COM - New Modular Structures

Long Lake Ranch- Install a SITE BUILT 14'x20' detached garage

To Schedule Inspections, please go to: <https://aca-prod.accela.com/PASCO/Default.aspx>

CONDITIONS OF THE PERMIT

A permit issued shall be construed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit a commenced within six (6) months after the time the work is commenced. An extension may be requested in writing from the Building Official for ninety (90) days and will demonstrate justifiable cause for the extension. If work ceases for ninety (90) days, the job is considered abandoned."

* All work shall be performed in accordance with Pasco County Codes and Ordinances. Final site inspection shall be made by the Engineering Inspections Division for all commercial, industrial, and multi-family construction, as per site plan, before final power release in given.

* Sanitation facilities shall be provided for the duration of construction at new building sites per FBC 3311.2.

* Final inspections are required for all permits issued. Failure to comply with this requirement could lead to a \$500.00 fine 60 days in the county jail, or both.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

PERMIT NO. 22B01171	APPLICATION DATE 05/23/2022	FLOOD ELEV. structure in x	ISSUE LOCATION / DATE NPR 04/03/2023
OWNER LONG LAKE RANCH COMMUNITYDEVELOP	JOB LOCATION 2042 LAKE WATERS PLACE	PARCEL NO. 33 26 18 0030 0P200 0000	ZONING DISTRICT MPUD-100
SET BACKS-FR	SIDE	BACK	CONTRACTOR TUFF SHED INC

NOTICE

Development Permits issued by Pasco County do not waive requirement for obtaining any other permits issued by any other agency. Do NOT rely solely on this document.

NOTICE OF RESTRICTIONS

In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this County, and there may be additional permits required from other governmental entities such as water management districts, state agencies or federal agencies.

This PERMIT may be subject to 'Deed Restrictions' which are more restrictive than County regulations. The PERMIT holder assumes responsibility for compliance with applicable deed restrictions.